

ADDENDUM NO. 2

DATE: February 24, 2023

TO: All Planholders

FROM: Tom Runkle
Project Manager

RE: Dickinson Park Sports Fields Renovations
Project No.: 21-1558

OWNER: St. Joseph Public Schools
2580 S. Cleveland Ave.
St. Joseph, MI 49085

The following items are changes and/or clarifications to the contract documents and shall be included in the Bid Proposal. All of these items will be part of the Contract Documents. The Bidder will acknowledge receipt of this Addendum in the appropriate space provided below and include this Addendum with their submitted bid. Failure to do so may result in disqualification of the bid.

Drawings: (all revisions have been clouded and tagged with a delta-2)

1. General: Revise total number of sheets included in set to 16.
2. Sheet 1 – Cover
 - a. Add Sheet 11 – Alternate 2 Utility Plan and revise all subsequent sheet numbers in Sheet Index.
 - b. Add Sheet S2.1 – Structural Details to Sheet Index.
 - c. Add Sheet E1.2 – Electrical Power to Sheet Index.
3. Sheet 2 - Topographic Survey
 - a. Revise route of existing 12" VCP pipe in leftfield of the baseball field.
 - b. Add location of below grade manhole in leftfield of the baseball field.
4. Sheet 3 – Removals Plan
 - a. Add three additional tree removals.
 - b. Add concrete removal for electric conduit installation.
 - c. Add notes specifying existing storm sewer pipes and below grade manhole to remain as part of base bid, but to be removed as part of Alternate 2.
 - d. Revise length of 18" dia. sewer pipe to be removed south of storm water quality unit located north of the baseball field batting cages.

- e. Add note to remove manhole south of existing baseball field batting cages.
 - f. Revise note to remove concrete foundation and steel beams to accommodate proposed utilities and grading.
 - g. Add photo of existing concrete foundation and steel beams to be removed.
 - h. Add note to verify inverts via exploratory excavation prior to ordering all proposed catch basins on utility plan(s) regarding existing storm water quality structure north of existing baseball field batting cages.
5. Sheet 5 – Baseball Field Site Enlargement Plan
- a. Add concrete sidewalk patch repairs for electric conduit installation.
6. Sheet 10 – Drainage and Utility Plan
- a. Revise 18" clay sewer pipe note.
 - b. Add note - preclean/televise, clean, and rehab existing 12" clay sewer pipe with cured-in-place lining.
 - c. Add outline noting limits of subsurface detention trench.
 - d. Revise proposed invert elevations for standard catch basin – 2'.
 - e. Revise material for all proposed storm sewer pipes south of the proposed standard catch basin.
 - f. Add standard catch basin – 2' south of the existing storm water quality unit north of the baseball field batting cages.
 - g. Revise quantity of Heavy Rip Rap
7. Sheet 11 – Alternate Utility Plan
- a. Add sheet to set.
8. Sheet 12 – Landscape Plan
- a. Add restoration turf seeding within public ROW along Stadium Dr.
 - b. Revise Bid Group C restoration turf seeding limits.
9. Sheet 14 – Construction Details
- a. Revise Standard Catch Basin – 2' cover to MDOT Cover B.
 - b. Revise 18" Culvert End Section detail.
10. Alternate 1, Sheet T1.1
- a. Added revision bubble to S2.1 (Structural Details) in Sheet Index to call attention to Sheet S2.1 previously omitted from Contract Drawing set by error; Sheet S2.1 now included in Alternate 1 Contract Drawing set
 - b. Added E1.2 (Electrical Power) to Sheet Index.
 - c. Added Technical Specifications index.
11. Alternate 1, Sheet T1.2



- a. Flipped the position of the terms "Negligible" and "47'-1" " previously reversed in error under General Notes – Life Safety
12. Alternate 1, Sheet S1.0
- a. Moved Typical Foundation Detail, Typical Lintel Bearing Detail, and Typical Thickened Slab Detail to Sheet S2.1.
 - b. Added Ceiling Plan.
 - c. Added various Detail-Section tags and notes (see revision bubbles).
 - d. Added Lintel Sections detail drawings.
 - e. Minor revisions to General Notes C and F.
13. Alternate 1, Sheet S2.1
- a. Added Sheet S2.1; previously omitted by error
 - b. Added top of CUM Wall, Roof Rafter tie-down/anchoring details (drawings 2/S2.1, 3/S2.1, 5/S2.1, 6/S2.1)
 - c. Added Ledger Detail (drawing 8/S2.1)
 - d. Added Detail @ Half-Wall Framing (drawings 9/S2.1 and 10/S2.1)
14. Alternate 1, Sheet A1.1
- a. Revised dimension string in drawing 2/A1.1 (see revision bubble)
15. Alternate 1, Sheet A3.3
- a. Revised landing width and handrail extension dimensions, respectively, in drawing 3/A3.3 (see revision bubble)
 - b. Revised handrail extension(s) to show handrail(s) return to wall at top of stair location in drawing 1/A3.3 (see revision bubble)
 - c. Revised 2nd floor interior wall(s) linework to accurately portray the east-west 42" tall Half-Wall and north-south full-height wall in drawing 1/A3.3 (see revision bubble)
 - d. Removed dimensions from 1/A3.3 regarding stair width that are already identified on drawings 1/A1.1 and 2/A1.1 (see revision bubble)
16. Alternate 1, Sheet A8.1
- a. Revised Paint Schedule Keynote #7.1 to allow manufacturer's standard colors similar to design basis; in lieu of custom-color match to School's custom color
 - b. Revised Door Schedule Hardware group numbers
 - c. Revised Door & Hardware Information
 - d. Revised Hardware Groups, including addition of Set 2
17. Alternate 1, Sheet E1.1
- a. Inserted new Electrical Note (SJHS Softball Field Upgrades, new note #3)



18. Alternate 1, Sheet E1.2

- a. Added new Sheet E1.2, inclusive of new drawing 1/E1.2 Elec. One Line Power Distribution

Specifications: (all revisions are shown in bold italic type)

1. Section C-410 – Bid Form

- a. Revise estimated quantity of line item 3 – Tree Removal.
- b. Revise estimated quantity of line item 5 – Concrete Paving Removal.
- c. Revise estimated quantity of line item 20 – Concrete Sidewalk.
- d. Revise estimate quantity of line item 36 – Restoration Turf Seed.
- e. Revise estimated quantity of line item 47 – Standard Catch Basin, 2'.
- f. Revise estimated quantity of line item 58 -18" Storm Sewer Pipe Removal.
- g. Add line item 59 – Manhole Removal to Bid Group C.
- h. Revise Item 60 name to Concrete Foundations and Steel Beams Removal.
- i. Revise estimated quantity of line item 61 – Existing 18" VCP Storm Sewer Pipe Pre-Cleaning and Televising.
- j. Revise estimated quantity of line item 62 – Existing 18" VCP Storm Sewer Pipe Cleaning.
- k. Revise estimated quantity of line item 63 – Existing 18" VCP Storm Pipe Lining.
- l. Delete previous line item 64 – Manhole Interior Cleaning, Storm
- m. Delete previous line item 65 – Manhole Rehabilitation
- n. Add new line item 64 – Existing 12" VCP Storm Sewer Pipe Pre-Cleaning and Televising.
- o. Add new line item 65 – Existing 12" VCP Storm Sewer Pipe Cleaning.
- p. Add new line item 66 – Existing 12" VCP Storm Sewer Pipe Lining.
- q. Revise material type and quantity of line item 70 – 18" Smooth-Lined Corrugated Plastic Pipe.
- r. Revise estimated quantity of line item 71 – Rip Rap.
- s. Add Section 3.05 – Total Alternate #2 Price (Unit Prices)
- t. Revise all line item numbers accordingly.

Other Items / Clarifications

1. Contractor shall include costs for construction staking by a Land Surveyor registered in Michigan as incidental to their bid pricing.
2. For each 'Alternate 1' Concession / Press Box Structure, one (1) below-grade domestic water service line valve pit and stop valve to be included in the Work to facilitate seasonal drainage, blow-out of the de-pressurized domestic potable water system prior to heating season; valve and pit to be located within +/- 24 inches of the foundation wall and to be accessible by a lockable keyed lid flush with surrounding finished grade.



Please acknowledge receipt of this addendum by signing below and attaching to the bid forms.

Should you have any questions or comments, please feel free to contact our office.

DATE

BIDDING FIRM

AUTHORIZED REPRESENTATIVE

Attachments: Revised Plan sheets and Specification Sections noted above.



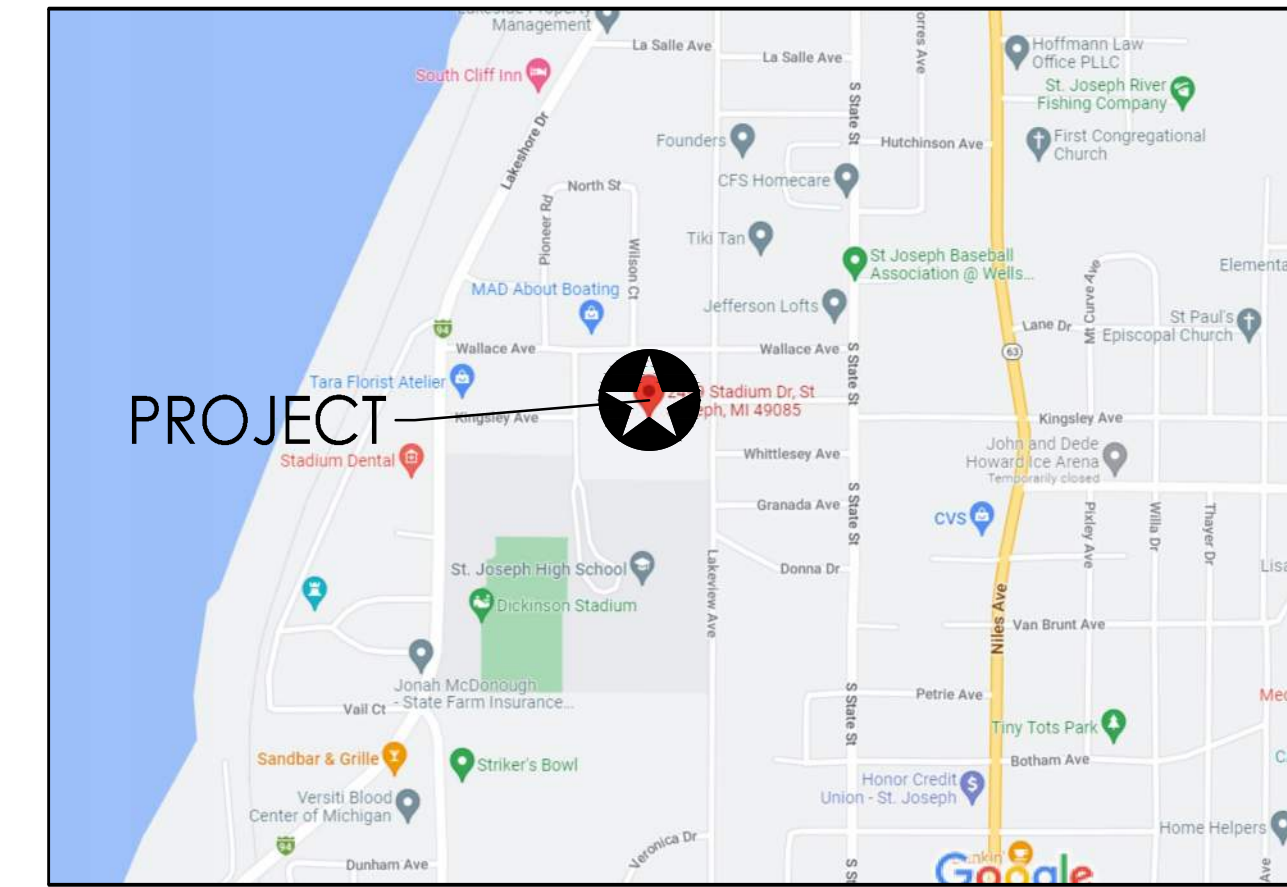
SITE DEVELOPMENT PLANS FOR: DICKINSON PARK SPORTS FIELDS RENOVATIONS 2499 STADIUM DRIVE, ST JOSEPH, MI

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CABLE 1920 MCKINLEY AVE MISHAWAKA, IN 46545 CONTACT: JAY CASTELLO (847) 789-1039 JAY_COSTELLO@COMCAST.NET	GAS MICHIGAN GAS 711 STARLITE DRIVE BENTON HARBOR, MI 49022 CONTACT: KELLY BAUER (269) 605-2188 KELLY.BAUER@MICHIGANGASUTILITIES.COM
WATER CITY OF ST JOSEPH 700 BROAD STREET ST JOSEPH MICHIGAN, MI 49085 CONTACT: DAVID LINDERMAN (269) 983-6341 DLINDERMAN@SJCITY.COM	SANITARY CITY OF ST JOSEPH 700 BROAD STREET ST JOSEPH MICHIGAN, MI 49085 CONTACT: DAVID LINDERMAN (269) 983-6341 DLINDERMAN@SJCITY.COM



VICINITY MAP
(NOT TO SCALE)



LOCATION MAP
(NOT TO SCALE)

SHEET INDEX

1	COVER SHEET
2	TOPOGRAPHIC SURVEY
3	REMOVALS PLAN
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A3.3	ENLARGED STAIR PLAN AND ELEVATIONS
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A5.1	BUILDING SECTIONS
A8.1	SCHEDULES AND OPENING ELEVATIONS
P1.1	PLUMBING PLAN
E1.1	ELECTRICAL POWER & LIGHTING PLAN
E1.2	ELECTRICAL POWER

CALL MISS DIG
1-800-482-7171 OR 811

FOR PROTECTION OF THE UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING CONSTRUCTION OPERATIONS. MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.



**Know what's below.
Call before you dig.**

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2580 S CLEVELAND AVE
ST JOSEPH, MI 49085
(269) 926-3100

CITY OF ST JOSEPH
700 BROAD STREET
ST JOSEPH, MI 49085
(269) 983-6341

SURVEYOR / ENGINEER
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2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
NO.	REVISION DESCRIPTION:	BY:	DATE:

PROJECT:
**DICKINSON PARK
SPORTS FIELDS RENOVATIONS
ST JOSEPH, MI**

COVER SHEET

SHEET TITLE:

DRAWN BY:

DESIGNED BY:

PM REVIEW:

QA/QC REVIEW:

DATE:

SEAL:

2/3/2022

SIGNATURE:

DATE:

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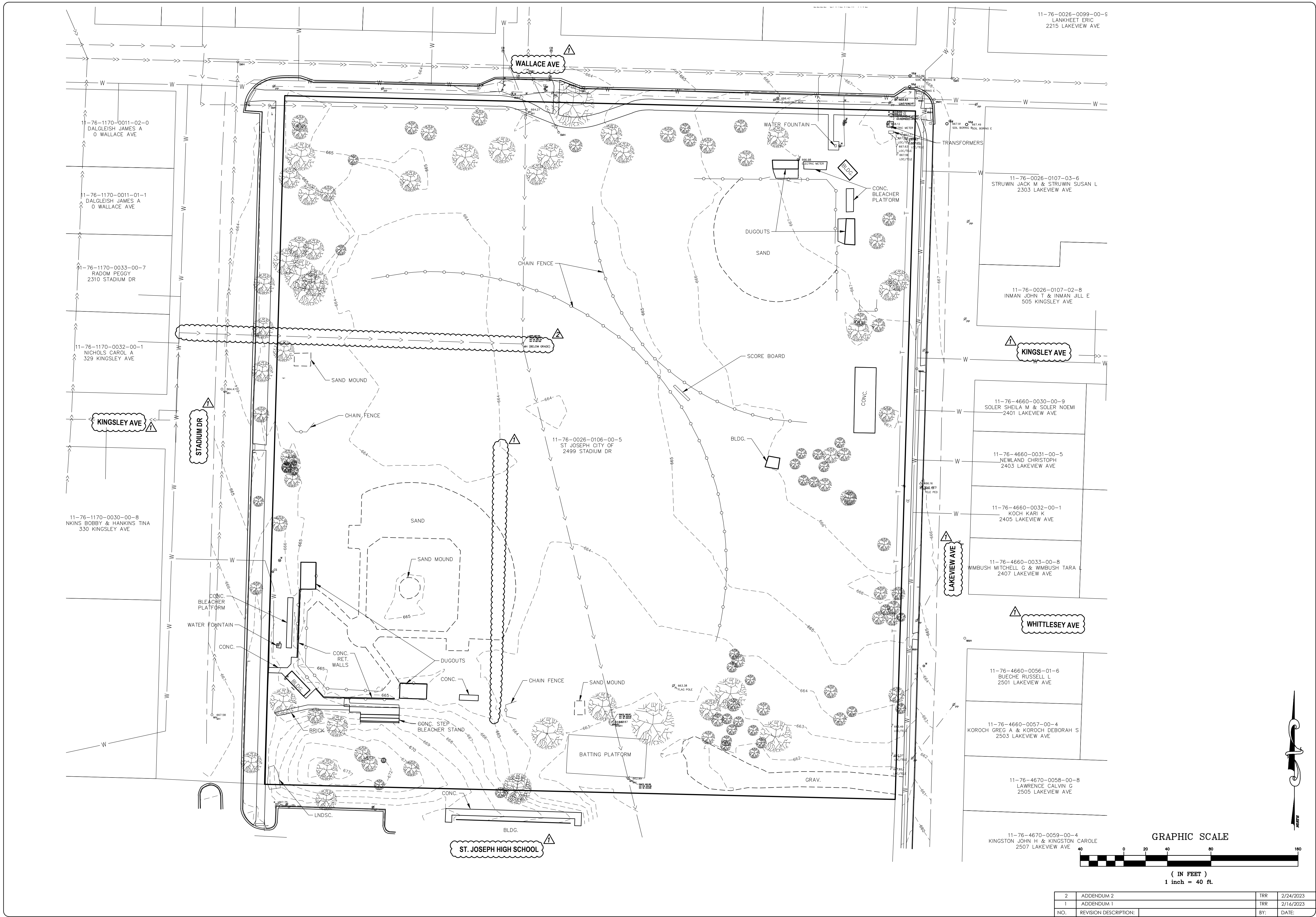
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SHEET NO.

1 of **16**



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**ST. JOSEPH, MI
 DICKINSON PARK
 BALL FIELD RENOVATIONS**

PROJECT: **TOPOGRAPHIC SURVEY**

SHEET TITLE:
 DRAWN BY: **GOG**
 DESIGNED BY:
 PM REVIEW: **TRR**
 QA/QC REVIEW:
 DATE: **FEBRUARY 2022**
 SEAL:

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SHEET NO. **2 of 16**

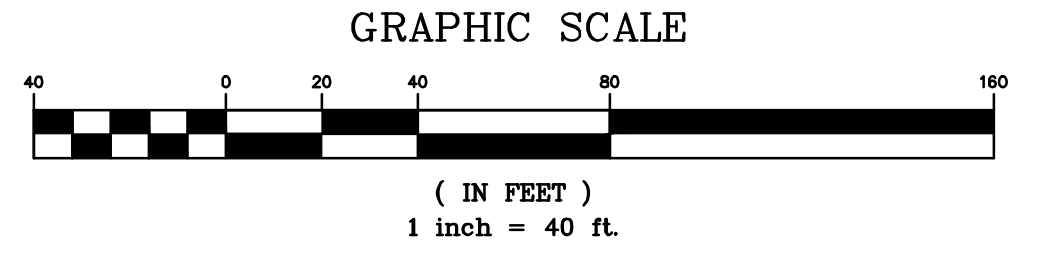
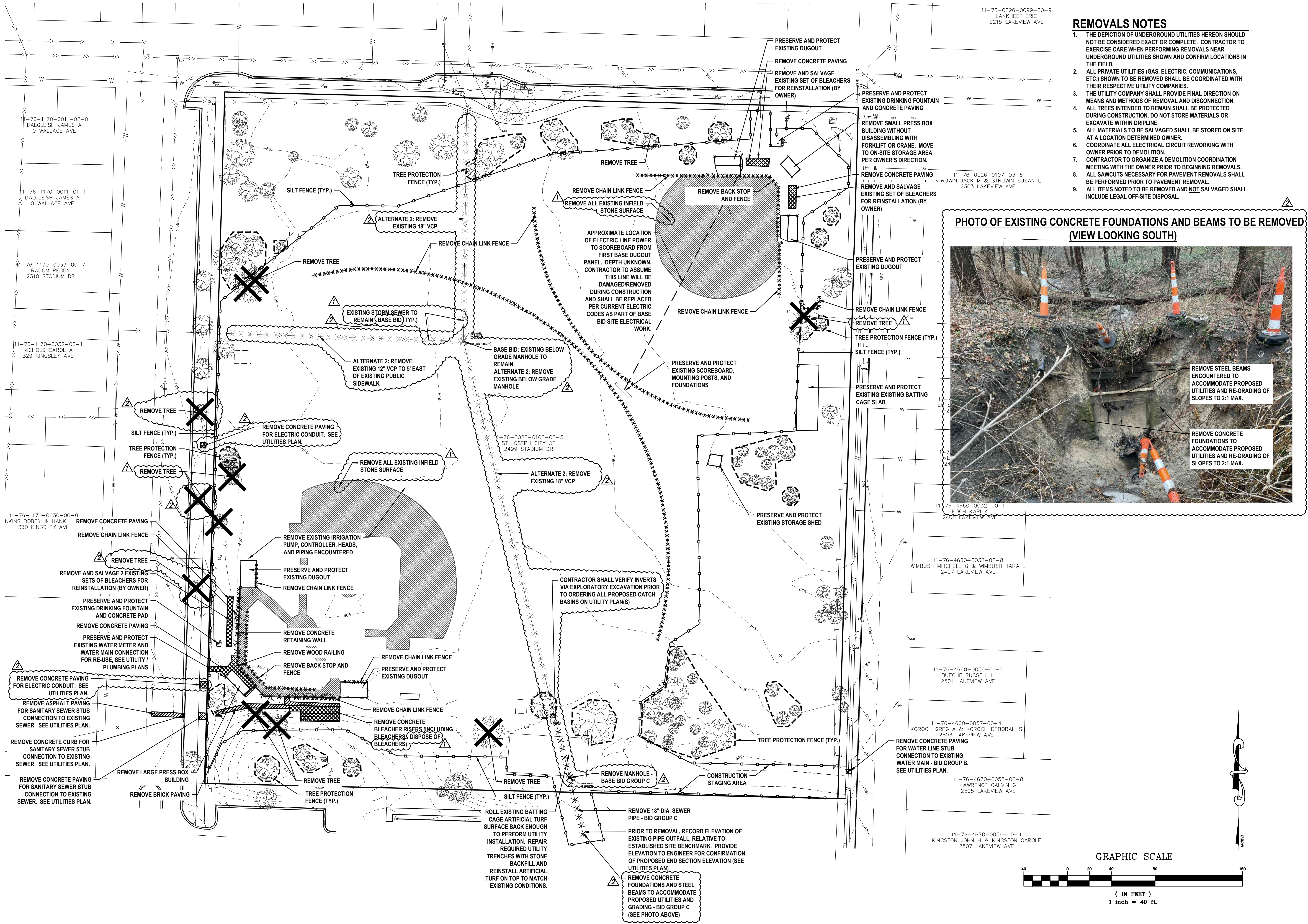
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2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023

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REMOVALS NOTES

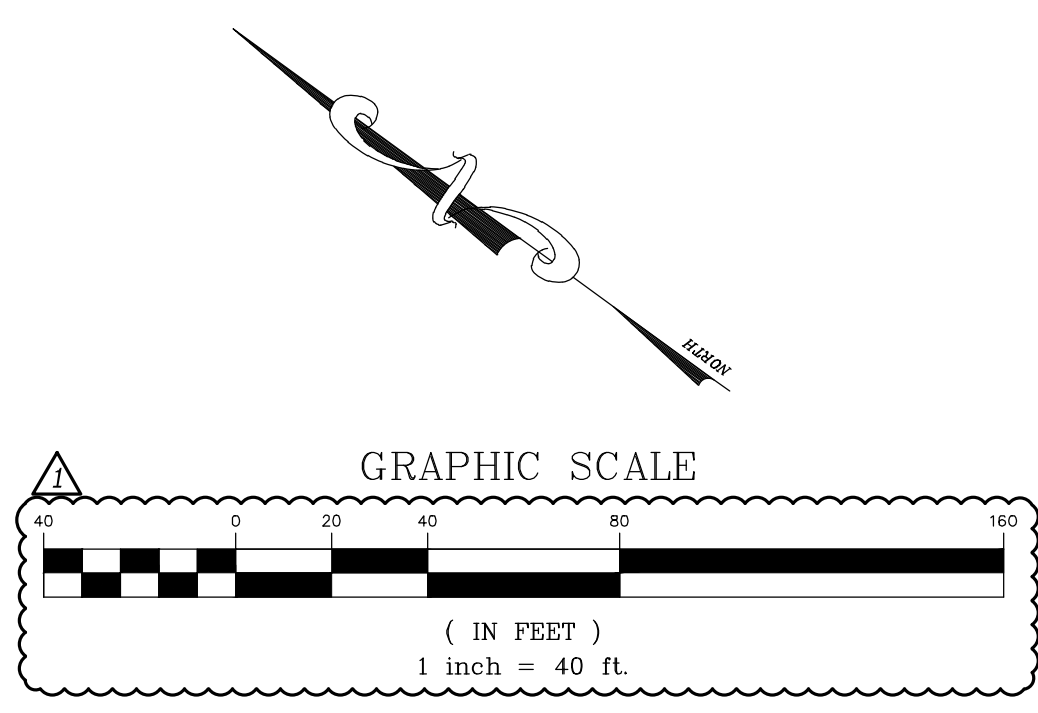
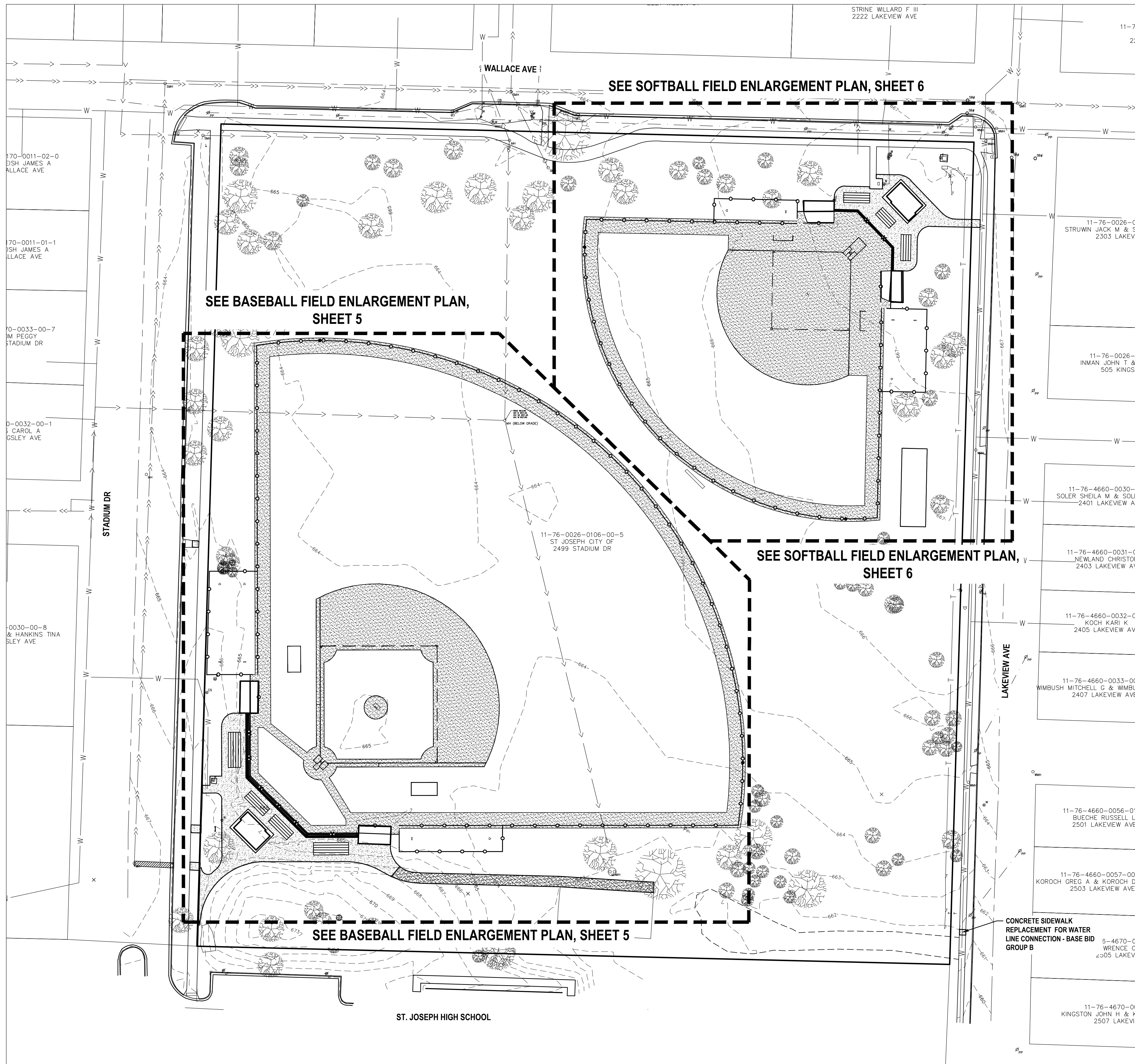
1. THE DEPICTION OF UNDERGROUND UTILITIES HEREON SHOULD NOT BE CONSIDERED EXACT OR COMPLETE. CONTRACTOR TO EXERCISE CARE WHEN PERFORMING REMOVALS NEAR UNDERGROUND UTILITIES SHOWN AND CONFIRM LOCATIONS IN THE FIELD.
2. ALL PRIVATE UTILITIES (GAS, ELECTRIC, COMMUNICATIONS, ETC.) SHOWN TO BE REMOVED SHALL BE COORDINATED WITH THEIR RESPECTIVE UTILITY COMPANIES.
3. THE UTILITY COMPANY SHALL PROVIDE FINAL DIRECTION ON MEANS AND METHODS OF REMOVAL AND DISCONNECTION. ALL TREES INTENDED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. DO NOT STORE MATERIALS OR EXCAVATE WITHIN DRIPLINE.
4. ALL MATERIALS TO BE SALVAGED SHALL BE STORED ON SITE AT A LOCATION DETERMINED OWNER.
5. COORDINATE ALL ELECTRICAL CIRCUIT REWORKING WITH OWNER PRIOR TO DEMOLITION.
6. CONTRACTOR TO ORGANIZE A DEMOLITION COORDINATION MEETING WITH THE OWNER PRIOR TO BEGINNING REMOVALS.
7. ALL SAWCUTS NECESSARY FOR PAVEMENT REMOVALS SHALL BE PERFORMED PRIOR TO PAVEMENT REMOVAL.
8. ALL ITEMS NOTED TO BE REMOVED AND NOT SALVAGED SHALL INCLUDE LEGAL OFF-SITE DISPOSAL.

PHOTO OF EXISTING CONCRETE FOUNDATIONS AND BEAMS TO BE REMOVED (VIEW LOOKING SOUTH)



2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
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**DICKINSON PARK
 SPORTS FIELDS RENOVATIONS
 ST JOSEPH, MI**

OVERALL SITE PLAN

SHEET TITLE:
 DRAWN BY: TR
 DESIGNED BY: TR
 PM REVIEW: TR
 QA/QC REVIEW:
 DATE: 2/3/2022
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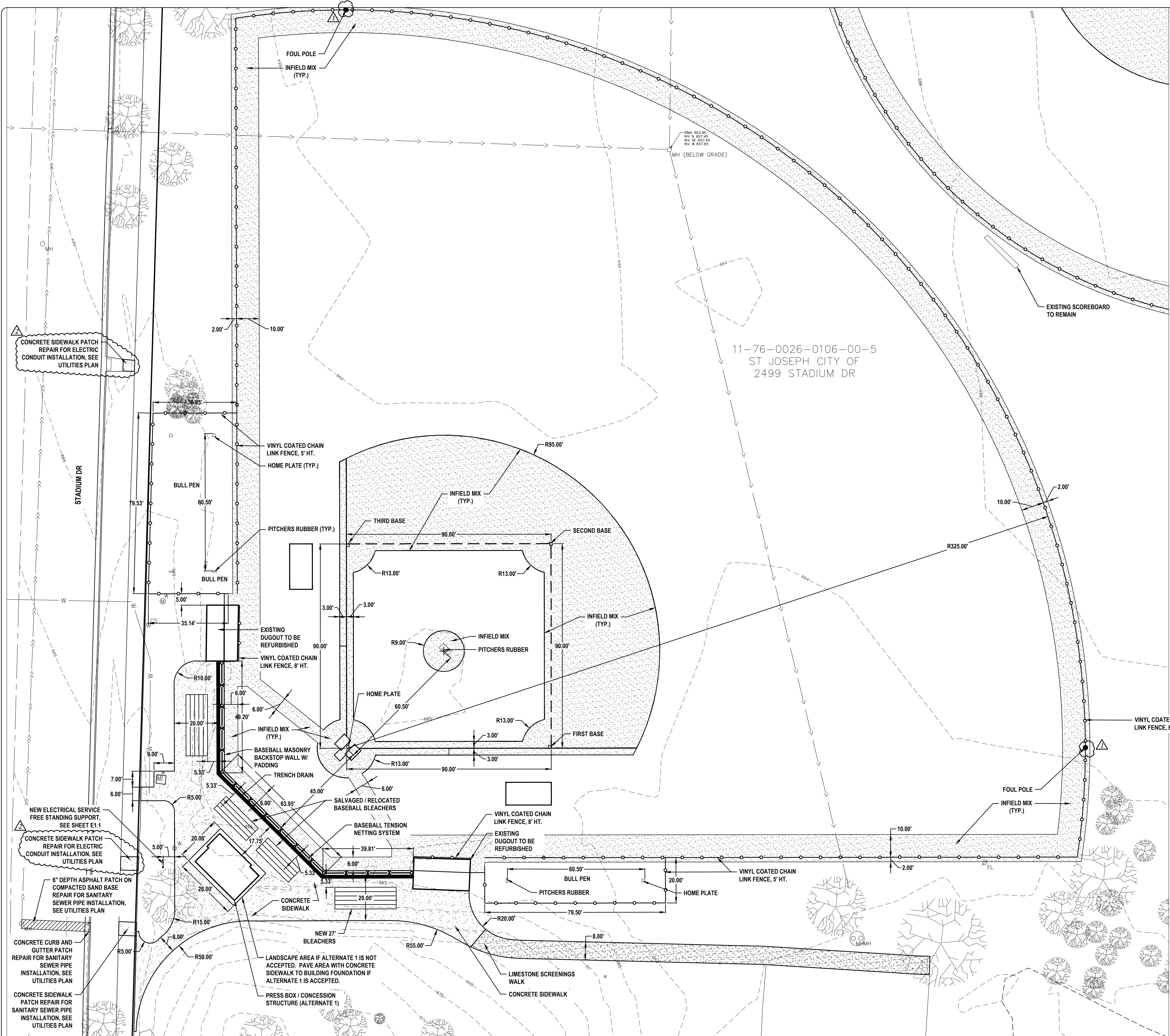
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SHEET NO. **4 of 16**

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1	ADDENDUM 1	TRR	2/16/2023
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11-76-0026-0106-00-5
ST JOSEPH CITY OF
2499 STADIUM DR

NOTES

1. PRESS BOX / CONCESSION STRUCTURE LOCATION SHALL BE ENTIRELY CONCRETE SIDEWALK IF ALTERNATE 1 IS NOT ACCEPTED.
2. ALL RADI FORMED FOR CONCRETE SIDEWALK CURVES SHALL BE SMOOTH AND CONTINUOUS. CURVES THAT ARE SEGMENTED, NON-CONTINUOUS, OR OF DIFFERING DIMENSIONS THAN THOSE NOTED WILL BE REJECTED.
3. RECOMMENDED FIELD RESTORATION CONTRACTOR:
TURF SERVICES
17205 148TH AVE
SPRING LAKE, MI 49456
616-842-4975
TURFSERV@12K.COM
OR EQUAL

**DICKINSON PARK
SPORTS FIELDS RENOVATIONS
ST JOSEPH, MI**

**BASEBALL FIELD SITE
ENLARGEMENT PLAN**

PROJECT:
SHEET TITLE:
DRAWN BY:
DESIGNED BY:
PM REVIEW:
QA/QC REVIEW:
DATE:
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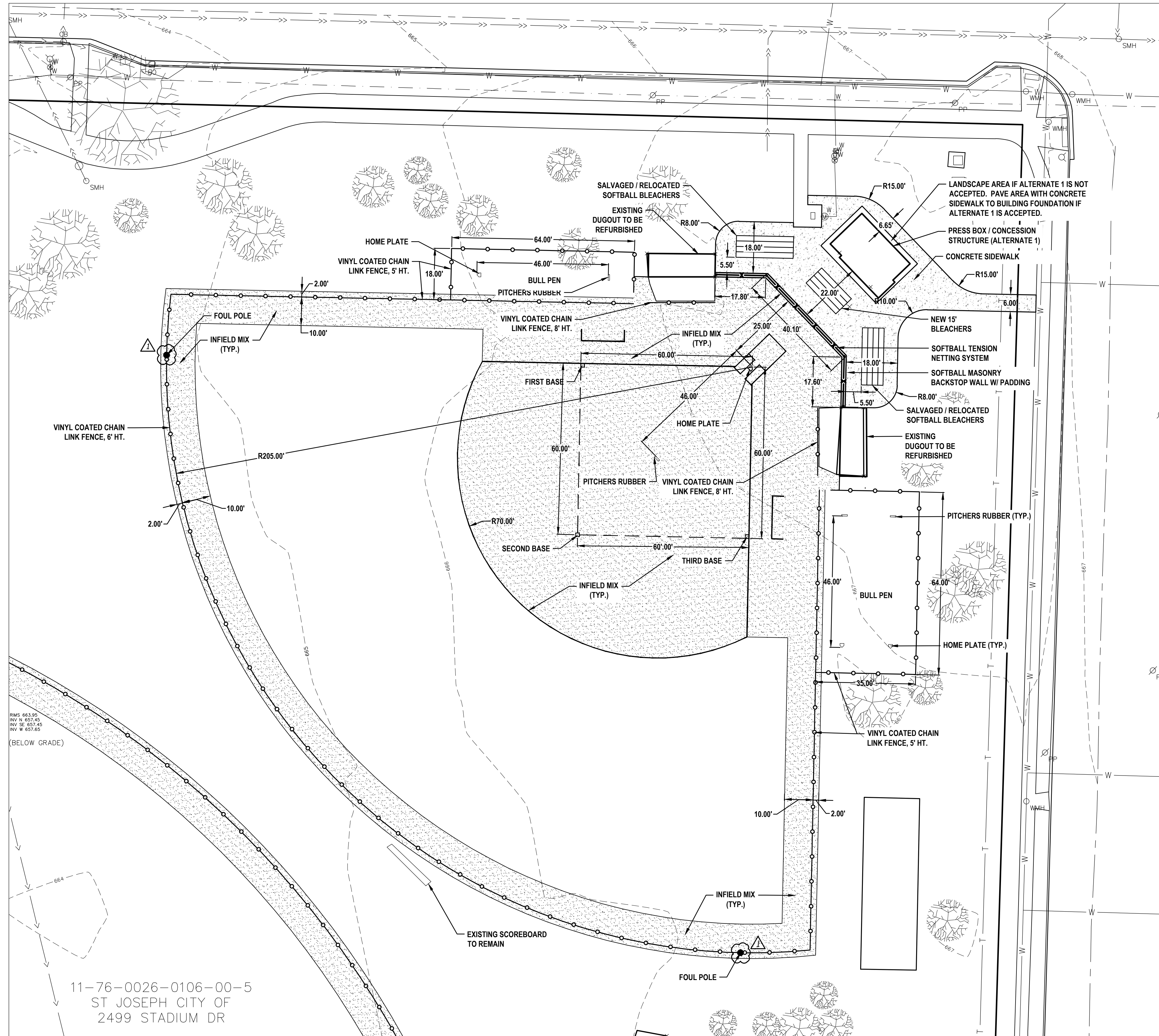
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SHEET NO. **5 of 16**

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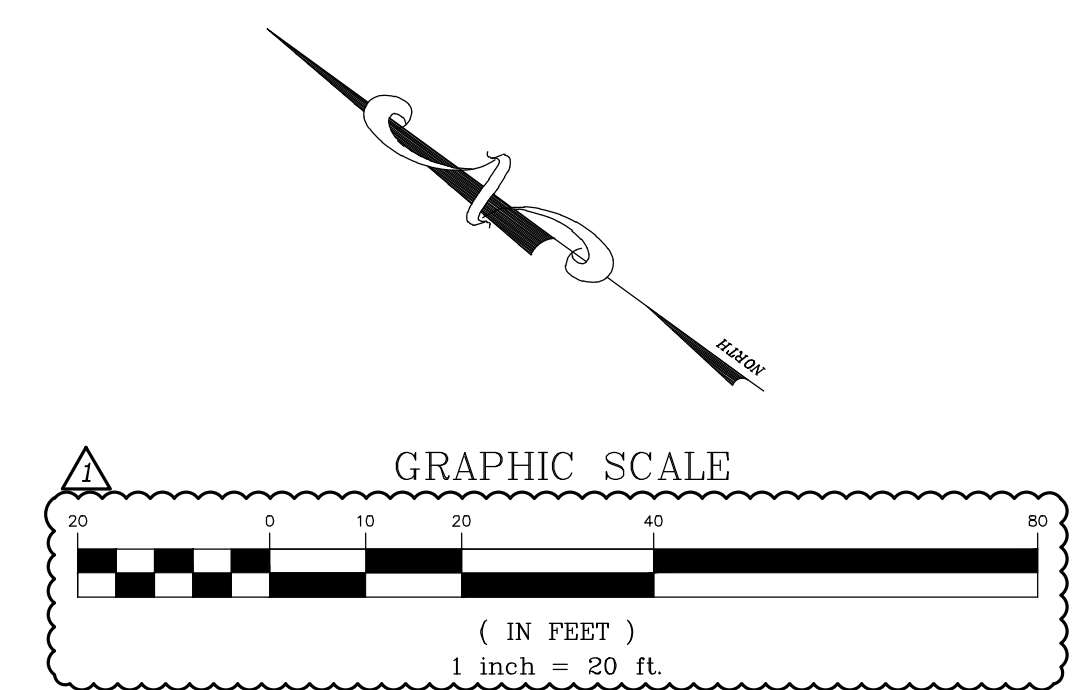


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 INV N 662.45'
 INV SE 657.45'
 INV W 657.65'
 (BELOW GRADE)

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 ST JOSEPH CITY OF
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 TURFSERV@GK.COM
 OR EQUAL



DICKINSON PARK
 SPORTS FIELDS RENOVATIONS
 ST JOSEPH, MI

SOFTBALL FIELD SITE
 ENLARGEMENT PLAN

SHEET TITLE:
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 DESIGNED BY:
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 QA/QC REVIEW:
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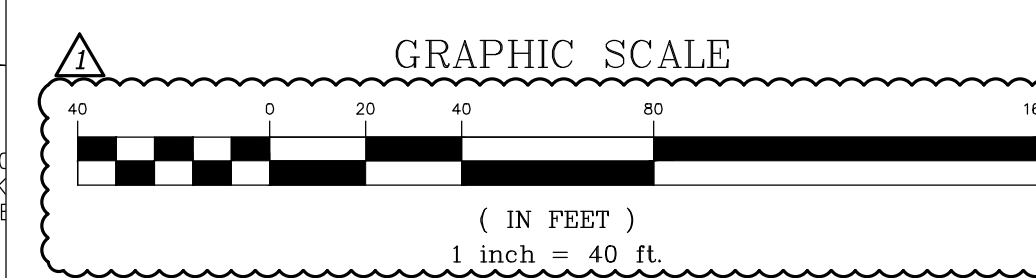
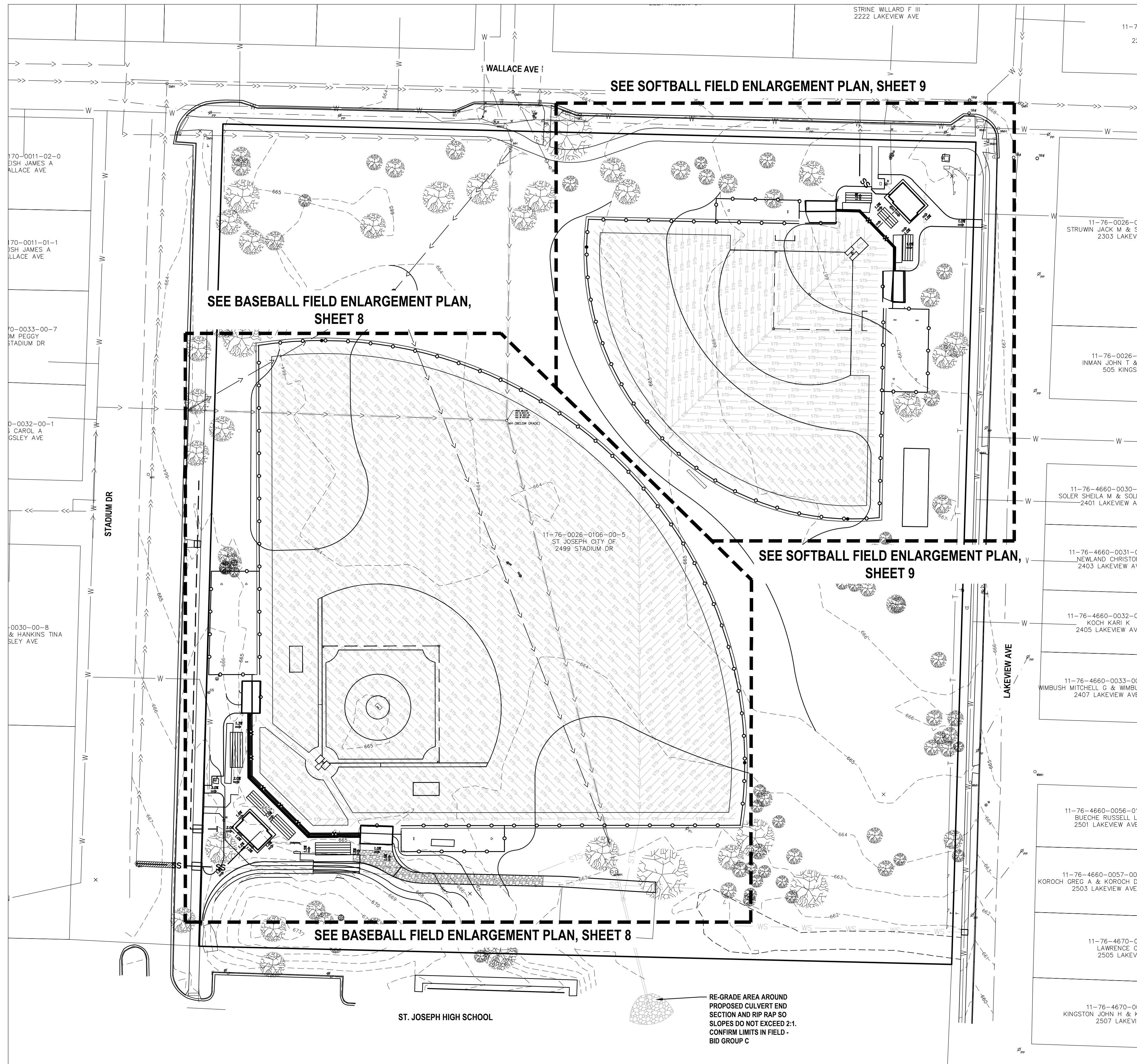
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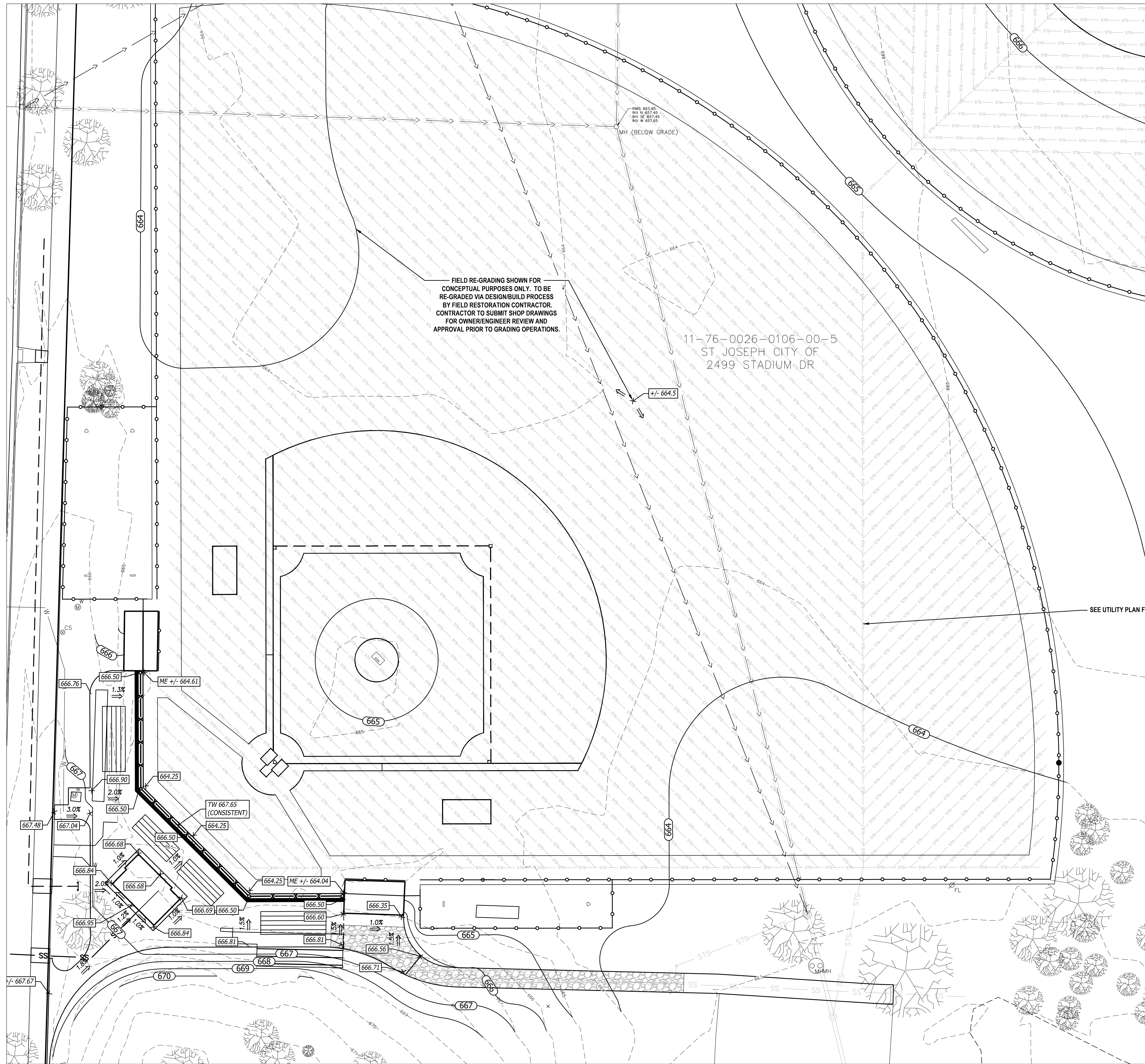
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2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
NO.	REVISION DESCRIPTION:	BY:	DATE:



2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
NO.	REVISION DESCRIPTION:	BY:	DATE:

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FIELD RE-GRADING SHOWN FOR CONCEPTUAL PURPOSES ONLY. TO BE RE-GRADED VIA DESIGN/BUILD PROCESS BY FIELD RESTORATION CONTRACTOR. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR OWNER/ENGINEER REVIEW AND APPROVAL PRIOR TO GRADING OPERATIONS.

11-76-0026-0106-00-5
ST. JOSEPH CITY OF
2499 STADIUM DR

SEE UTILITY PLAN FOR PROPOSED UTILITIES (TYP.)

RECOMMENDED FIELD RESTORATION GRADING CONTRACTOR:
TURF SERVICES
17205 148TH AVE
SPRING LAKE, MI 49456
616-842-4975
TURFSERV@T2K.COM
OR EQUAL

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PROJECT:
**DICKINSON PARK
SPORTS FIELDS RENOVATIONS
ST JOSEPH, MI**

SHEET TITLE:
**BASEBALL FIELD GRADING
ENLARGEMENT PLAN**

DRAWN BY:
TR
 DESIGNED BY:
TR
 PM REVIEW:
TR
 QA/QC REVIEW:
 DATE:
2/3/2022
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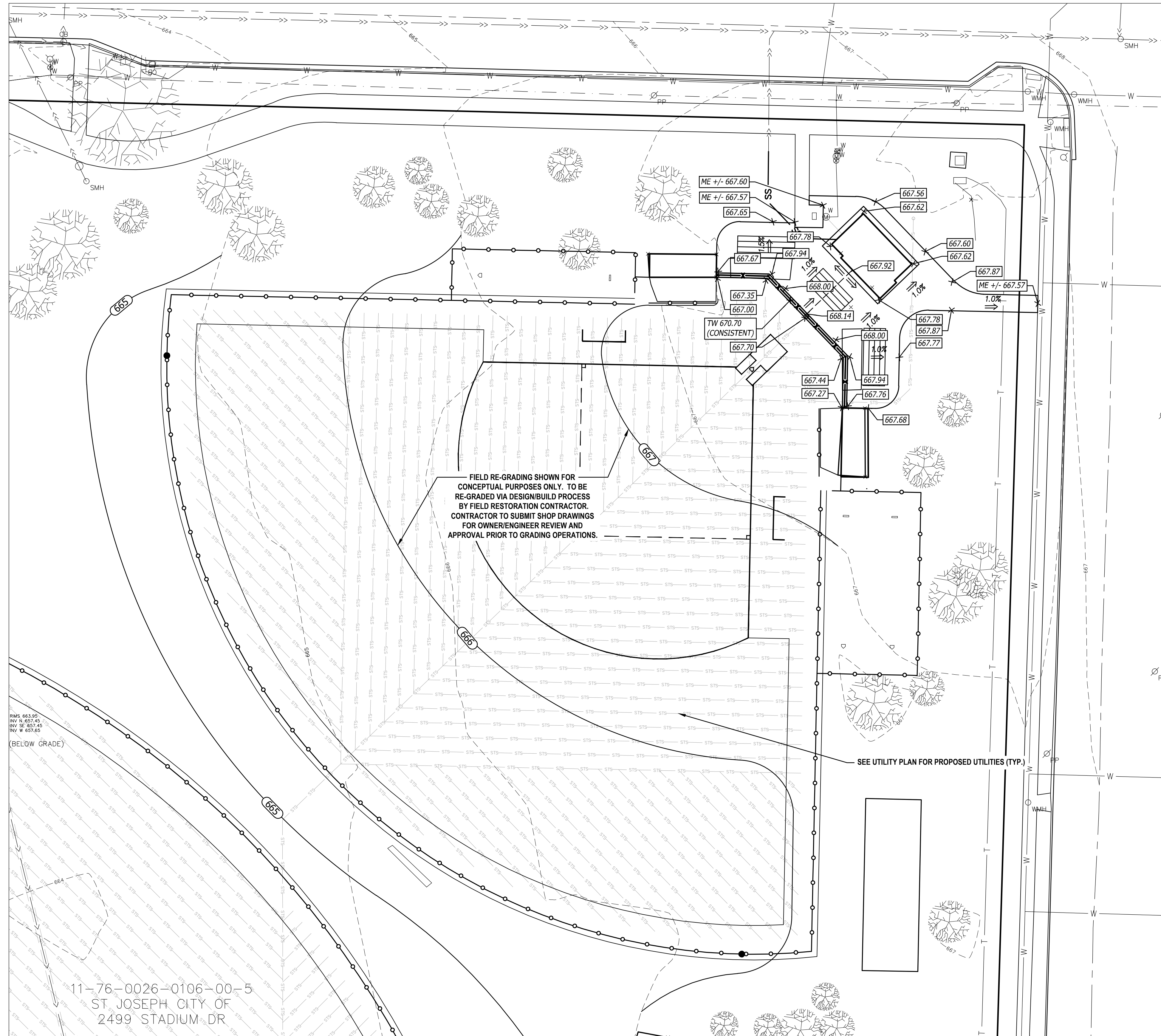
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21-1558

SHEET NO.
8 of 16

2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
NO.	REVISION DESCRIPTION:	BY:	DATE:

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REV. 663.99
REV. 662.45
REV. 657.48
REV. 657.65

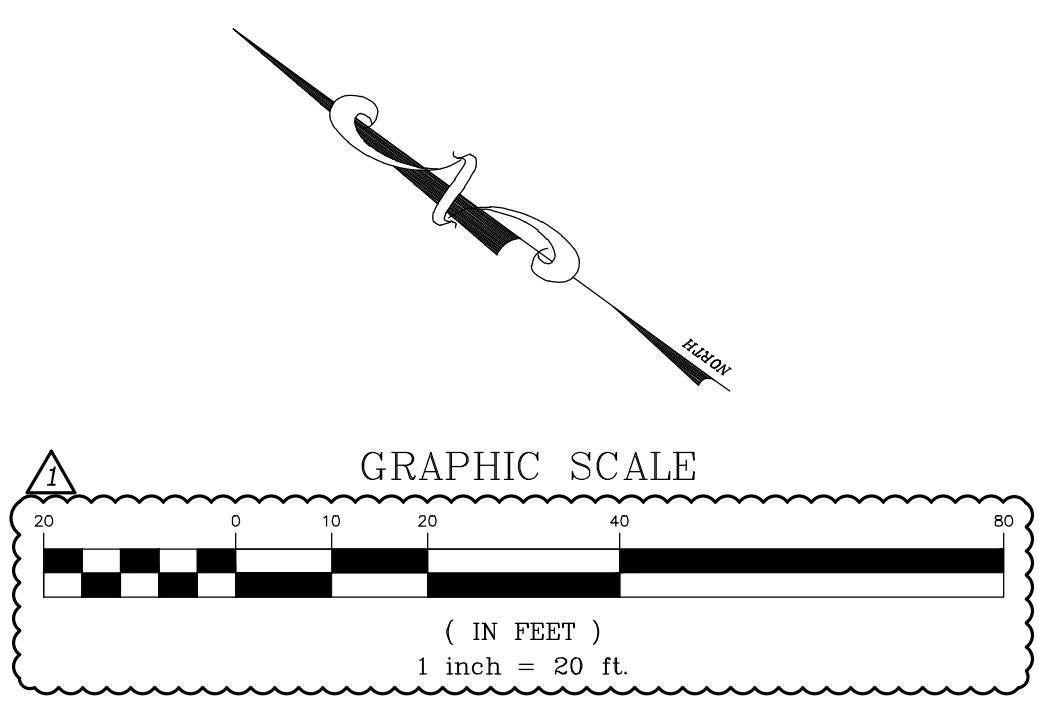
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ST. JOSEPH CITY OF
2499 STADIUM DR.

FIELD RE-GRADING SHOWN FOR
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RE-GRADED VIA DESIGN/BUILD PROCESS
BY FIELD RESTORATION CONTRACTOR.
CONTRACTOR TO SUBMIT SHOP DRAWINGS
FOR OWNER/ENGINEER REVIEW AND
APPROVAL PRIOR TO GRADING OPERATIONS.

SEE UTILITY PLAN FOR PROPOSED UTILITIES (TYP.)

RECOMMENDED FIELD RESTORATION GRADING CONTRACTOR:
TURF SERVICES
1720S 148TH AVE
SPRING LAKE, MI 49456
616-842-4975
TURFSERV@IQK.COM
OR EQUAL



ABONMARCHÉ
Benjamin Honchar
Earl Wozniak
Caitlin
Hobart
Lorraine
Engineering - Architecture - Land Surveying
365 West Main Street
Benton Harbor, MI 49023
T 269.927.2293
F 269.927.1017
abonmarche.com
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DICKINSON PARK
SPORTS FIELDS RENOVATIONS
ST JOSEPH, MI

SOFTBALL FIELD GRADING
ENLARGEMENT PLAN

SHEET TITLE:
DRAWN BY:
TR
DESIGNED BY:
TR
PM REVIEW:
TR
QA/QC REVIEW:
DATE:
2/3/2022
SEAL:

SIGNATURE:
DATE:

HARD COPY IS INTENDED TO
BE 24" X 36" WHEN PLOTTED.
SCALE(S) INDICATED AND
GRAPHIC QUALITY MAY NOT
BE ACCURATE FOR ANY
OTHER SIZES

SCALE:
HORIZ: AS NOTED
VERT:

ACI JOB #
21-1558

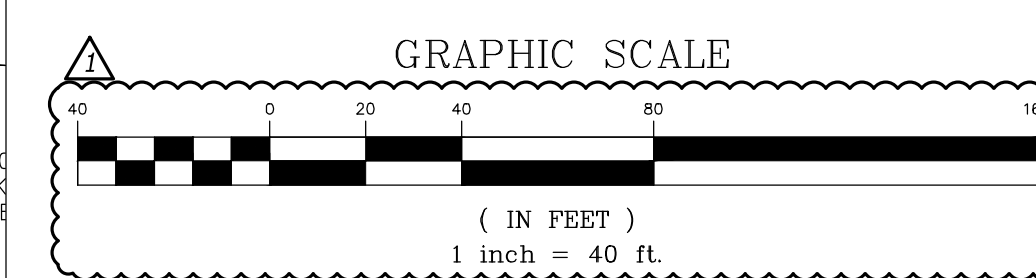
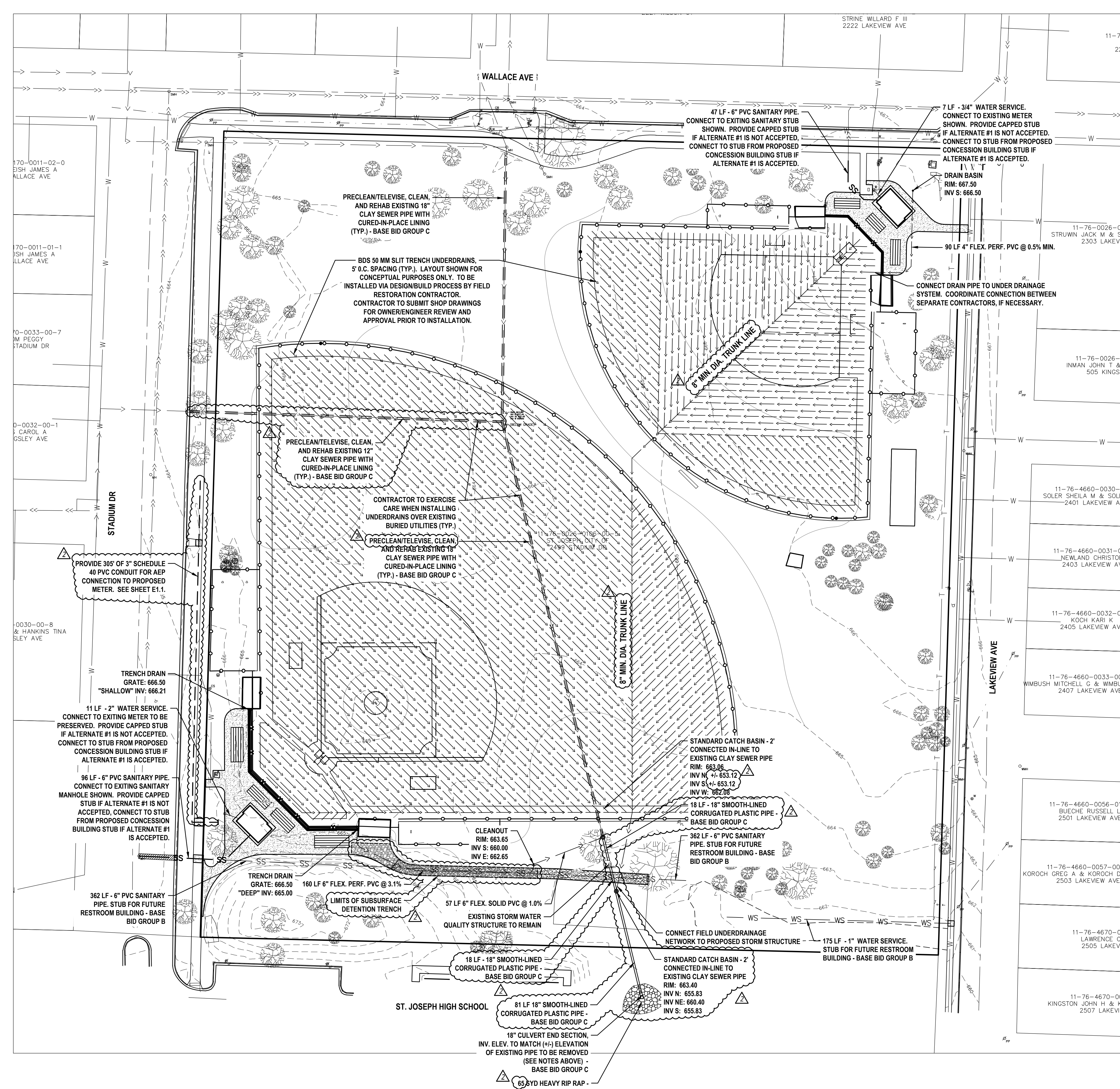
SHEET NO.
9 of 16

2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
NO.	REVISION DESCRIPTION:	BY:	DATE:

C:\Projects\2021\21-1558 Dickinson Park Softball Field Renovations\CAD_C3D\Drawings\FINAL DESIGN\21-1558 GRADING.dwg, SOFTBALL_230203 9:45:16 AM, mmdk, 1:1

UTILITY NOTES

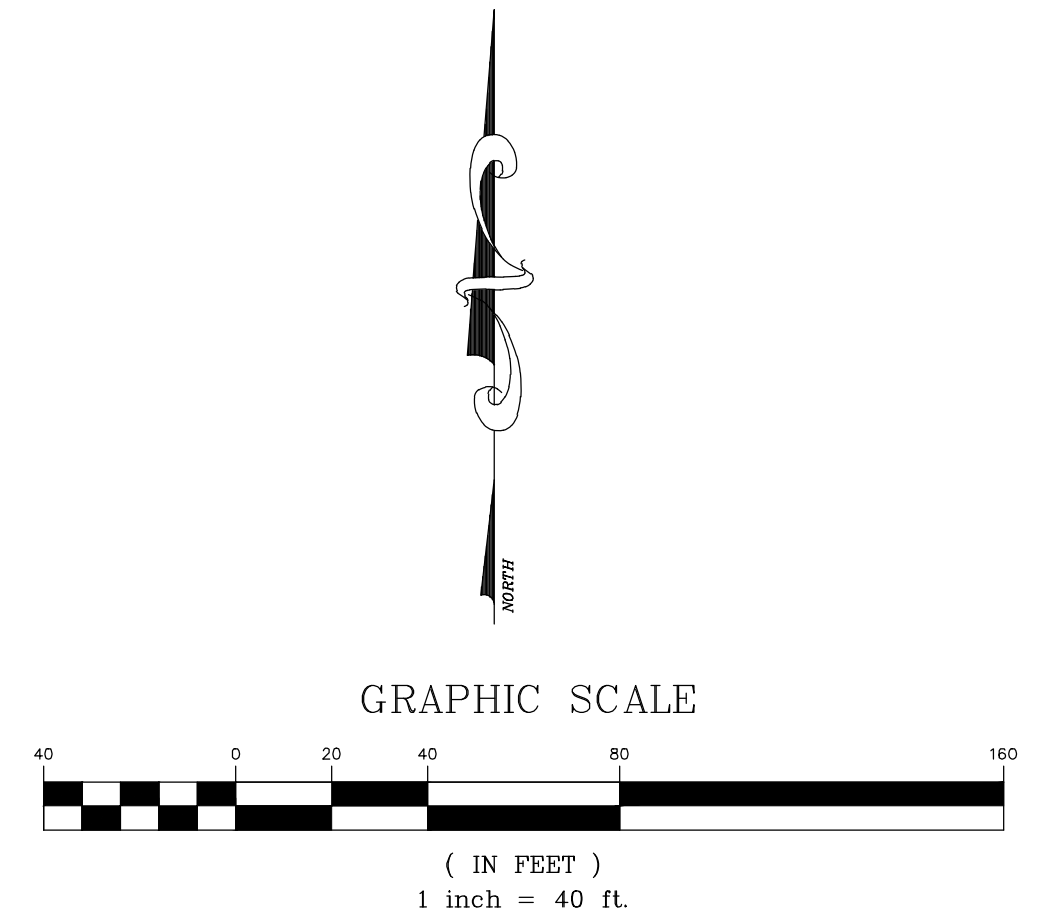
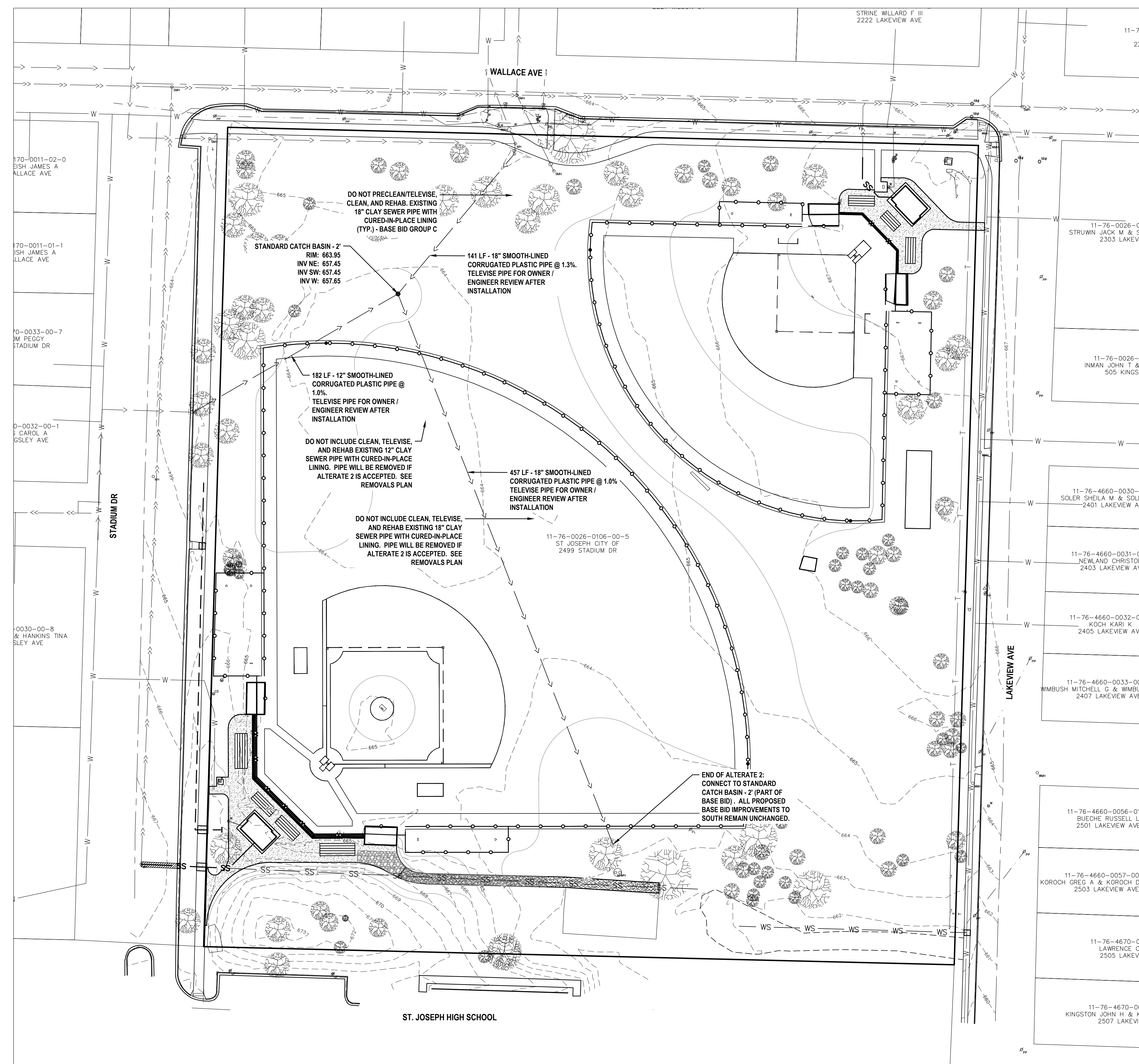
- IF ALTERNATE 1 IS NOT ACCEPTED, CONTRACTOR TO PROVIDE CAPPED WATER AND SANITARY SEWER STUBS TO THE LOCATIONS SHOWN FOR FUTURE PRESS BOX CONCESSION BUILDING CONNECTIONS.
- ALL UTILITY IMPROVEMENTS SHOWN SHALL BE INCLUDED IN BASE BID GROUP A UNLESS NOTED OTHERWISE.
- SEE SHEET E1.1 FOR PROPOSED ELECTRICAL IMPROVEMENTS
- IF ALTERNATE 1 IS NOT ACCEPTED, CONTRACTOR SHALL PROVIDE ALL NECESSARY UNDERGROUND UTILITY CONDUIT TO ALLOW FOR THE FUTURE CONSTRUCTION OF PRESS BOX / CONCESSION STAND STRUCTURES.
- PROPOSED CULVERT END SECTION ELEVATION SHALL BE BASED ON MATCHING THE ELEVATION OF EXISTING 18" STORM PIPE TO BE REMOVED. SEE REMOVALS PLAN. CONTRACTOR TO RECORD ELEVATION OF EXISTING PIPE OUTFALL, RELATIVE TO ESTABLISHED SITE BENCHMARK. PROVIDE ELEVATION TO ENGINEER FOR CONFIRMATION OF PROPOSED END SECTION ELEVATION.
- DRAIN STRUCTURE TO BE 12" CUSTOM-MADE PVC STRUCTURE
 MANUFACTURER: NYLOPLAST
 3130 VERONA AVE.
 BURLINGTON, GA 30518
 770-932-2443
 WWW.NYLOPLAST-USA.COM
 PART#: 7001-110-111
 GRATES: 12" DROP IN GRATES
 PART#: 7001-110-021
 OR EQUAL
 INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS
 RECOMMENDED FIELD UNDERDRAINAGE CONTRACTOR:
 TUR SERVICES
 17205 148TH AVE
 SPRING LAKE, MI 49456
 616-842-4973
 TURSERV@GMAIL.COM
 OR EQUAL



2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
NO.	REVISION DESCRIPTION:	BY:	DATE:

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NOTES
 1. ONLY INFORMATION DIFFERING FROM BASE BID UTILITY PLAN (SHEET 10) IS NOTED. ALL BASE BID SCOPE ITEMS, NOTES, ETC. REMAIN IN CONTRACT IF NOT SPECIFICALLY NOTED OTHERWISE ON THIS ALTERNATE 2 UTILITY PLAN.



2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
NO.	REVISION DESCRIPTION:	BY:	DATE:

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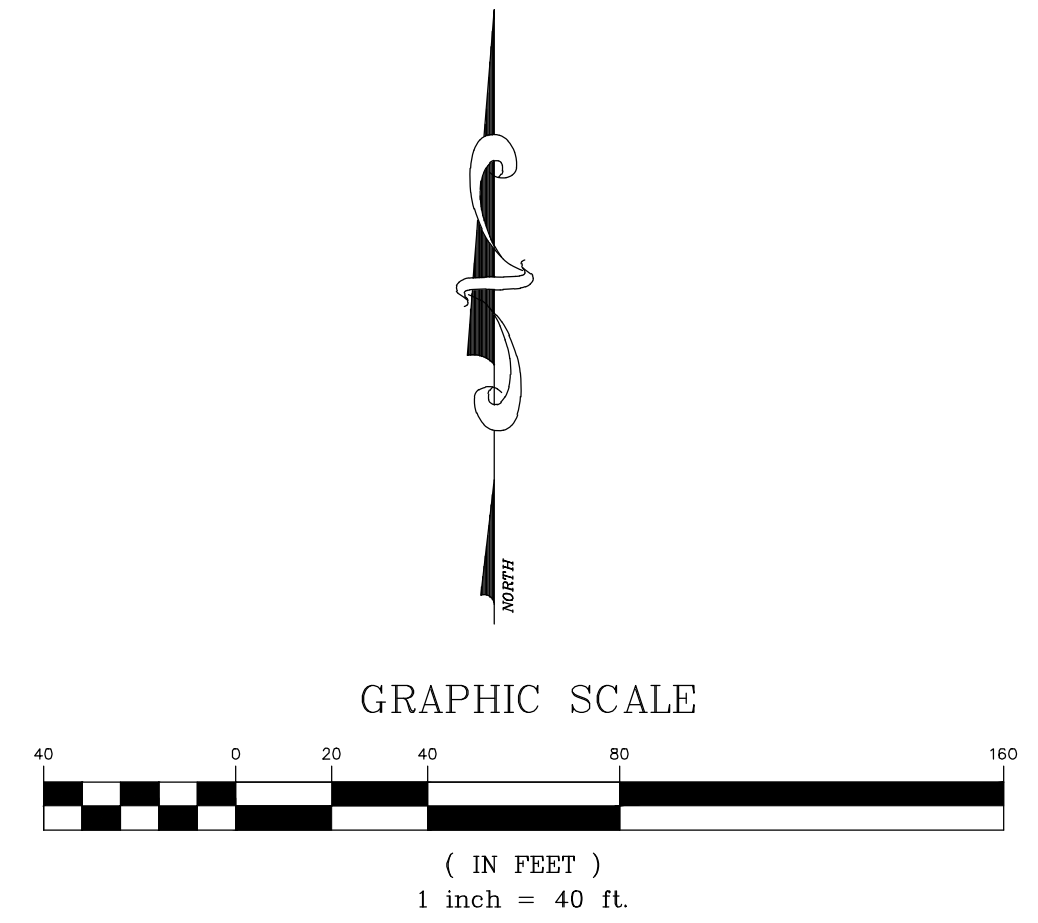


SEEDING LEGEND

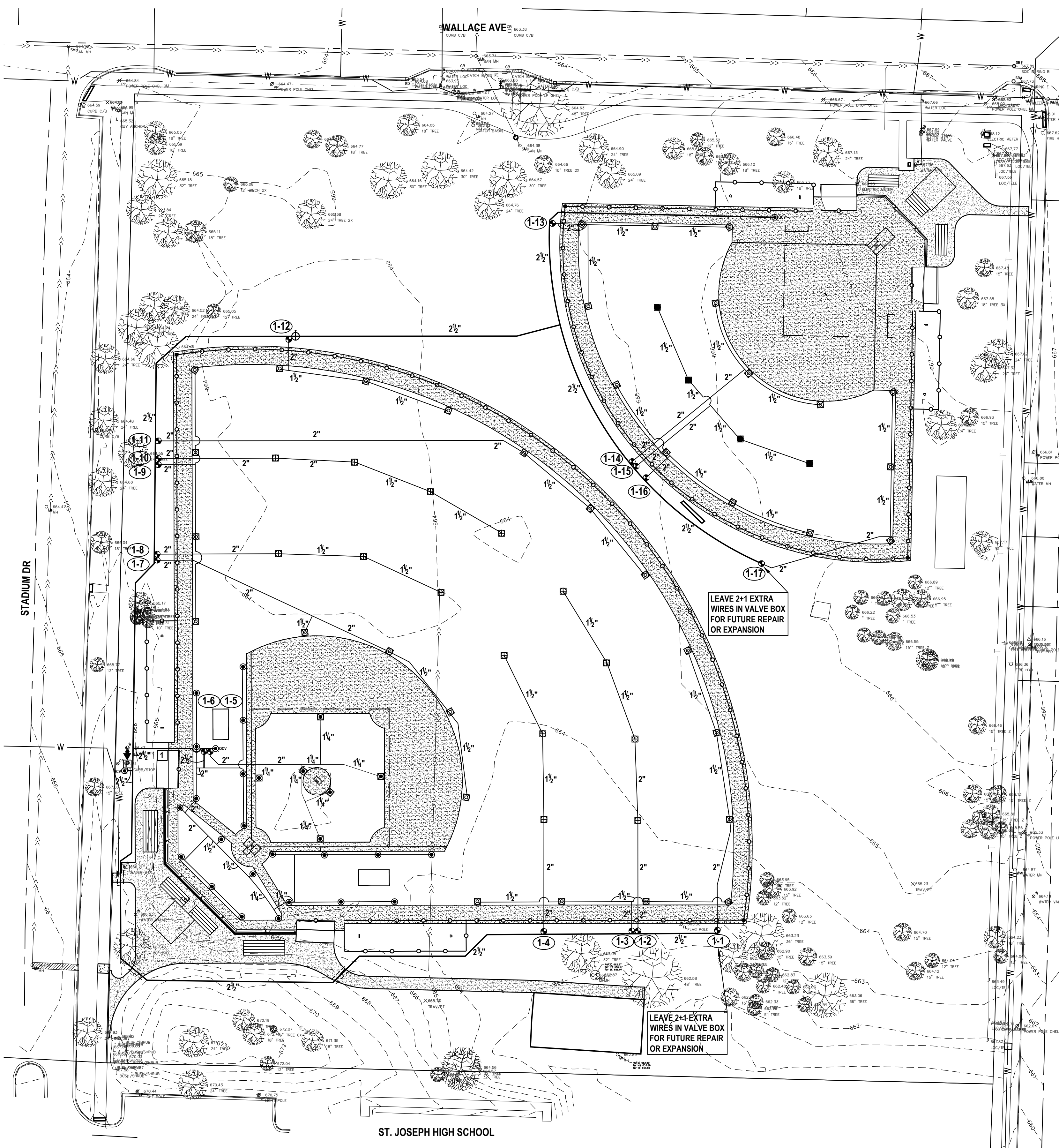
- RESTORATION TURF SEED:
50% KENTUCKY BLUEGRASS
30% PERENNIAL RYEGRASS
20% CREEPING FESCUE
- SPORTS FIELD TURF SEED (INSTALL BY AUGUST 15, 2023):
90% KENTUCKY BLUEGRASS
10% PERENNIAL RYEGRASS

LANDSCAPE NOTES

1. LOCATE ALL UTILITIES PRIOR TO BEGINNING WORK. UTILITIES SHOWN ARE DIAGRAMMATIC AND MAY NOT INDICATE ALL UNDERGROUND IMPROVEMENTS.
2. EXAMINE EXISTING CONDITIONS AND VERIFY CONDITIONS ARE ACCEPTABLE FOR REQUIRED WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WITH INFORMATION SHOWN ON PLANS PRIOR TO BEGINNING WORK.
3. PROTECT ALL EXISTING PAVING, STRUCTURES, UTILITIES, AND PLANT MATERIAL INDICATED TO REMAIN. CONTRACTOR RESPONSIBLE FOR ANY DAMAGE TO EXISTING FEATURES AT NO EXPENSE TO THE OWNER.
4. CONTRACTOR RESPONSIBLE FOR REMOVAL OF ANY EXISTING GRASS, WEEDS, OR SCRUB GROWTH WITHIN LIMITS OF PLANT BED EDGE OR WITHIN 5' DIAMETER CIRCLE AROUND BASE OF EACH TREE.
5. PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL AGENCIES ONLY. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN ON THE PLANS. NO ADDITIONAL PAYMENTS WILL BE MADE FOR MATERIALS REQUIRED TO COMPLETE THE WORK AS DRAWN. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
6. ALL PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT.
7. ALL PLANT MATERIAL SHALL BE WARRANTIED FOR ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE.
8. RAKE TOPSOIL TO ELIMINATE UNEVEN AREAS AND REMOVE DEBRIS, ROOTS, BRANCHES, AND STONES IN EXCESS OF 1 INCH SIZE. ENSURE POSITIVE DRAINAGE IS RETAINED AWAY FROM BUILDINGS DURING LANDSCAPE CONSTRUCTION ACTIVITIES.
9. SEED LIMIT LINES ARE APPROXIMATE. ALL LANDSCAPE AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED UNLESS NOTED OTHERWISE.
10. ALL SPORTS FIELD TURF SEED MUST BE INSTALLED BY AUGUST 15, 2023 TO ALLOW SUFFICIENT ESTABLISHMENT TIME.
11. CONTRACTOR RESPONSIBLE FOR EROSION CONTROL IN ALL SEEDED AREAS.
12. CLEAN ALL SURFACES OF SOIL, MULCH, AND LANDSCAPE DEBRIS AFTER WORK IS COMPLETE.
13. COORDINATE SCHEDULE AND INSTALLATION OF LANDSCAPE WITH IRRIGATION SYSTEM INSTALLATION



2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
NO.	REVISION DESCRIPTION:	BY:	DATE:



- LEGEND**
- 77PSS-02 (P/C) #16.0 NOZZLE TORO GEAR DRIVEN ROTARY POP-UP
 - 77PSS-02 (F/C) #16.0 NOZZLE TORO GEAR DRIVEN ROTARY POP-UP
 - 77PSS-02 (P/C) #9.0 NOZZLE TORO GEAR DRIVEN ROTARY POP-UP
 - 77PSS-02 (P/C) #7.0 NOZZLE TORO GEAR DRIVEN ROTARY POP-UP
 - 15PCKSS-RS (P/C) #3.0 NOZZLE TORO GEAR DRIVEN ROTARY POP-UP
 - 474-00 TORO 1" QUICK COUPLER VALVE W/1 KEY AND HOSE SWIVEL
 - 252-26-06 TORO 1-1/2" ELECTRIC VALVE
 - TC-24EX-R 24 STATION IRRITROL TOTAL CONTROL CONTROLLER W/RS1000 RAIN SWITCH

- SDR 21 CLASS 200 PVC PIPE (ALL PRESSURIZED MAINLINE PIPE)
- SDR 26 CLASS 160 PVC PIPE (ALL LATERAL PIPE ON ATHLETIC ROTOR ZONES)
- 100# POLYETHYLENE PIPE (PE-3408 NSF APPROVED) (ALL PIPE DOWNSTREAM OF VALVE 1-1/4" AND SMALLER ON MEDIUM ROTOR ZONES)

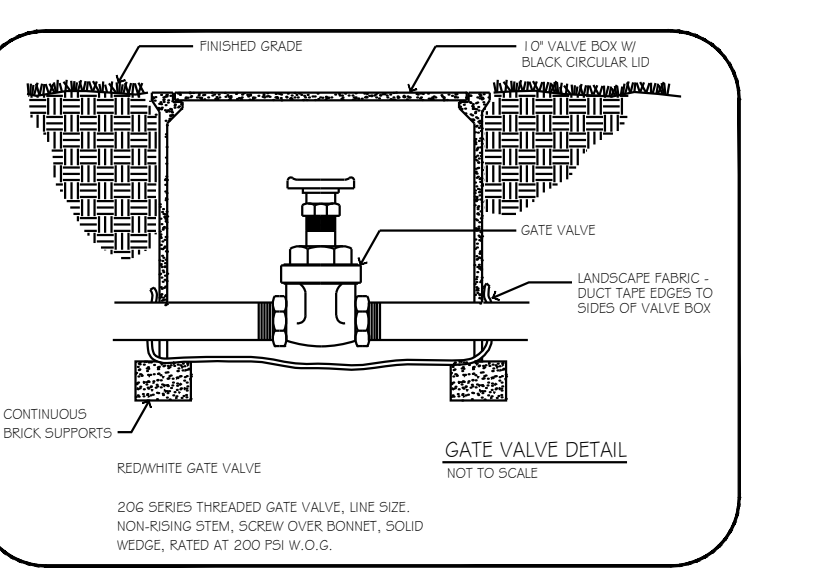
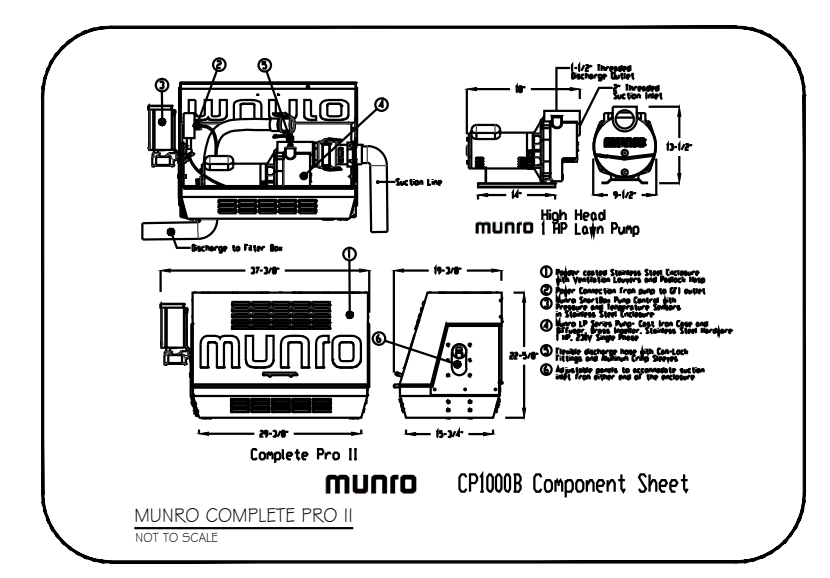
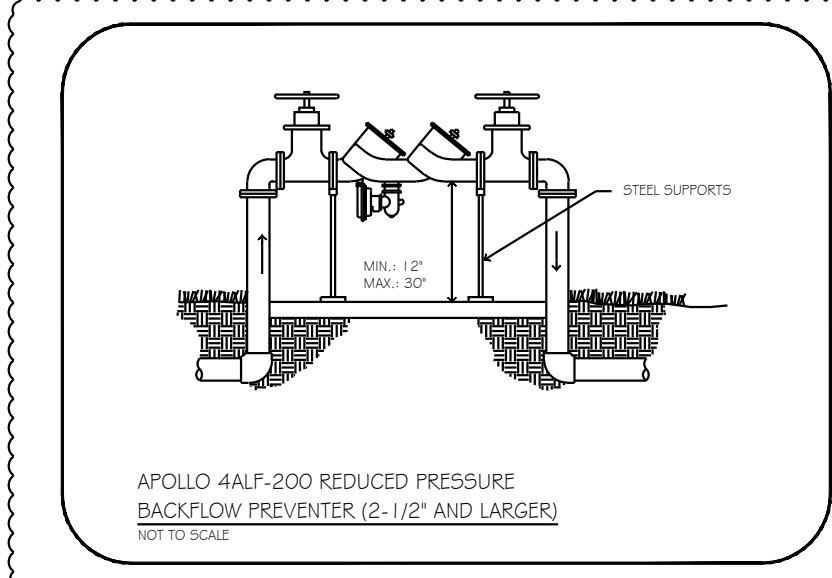
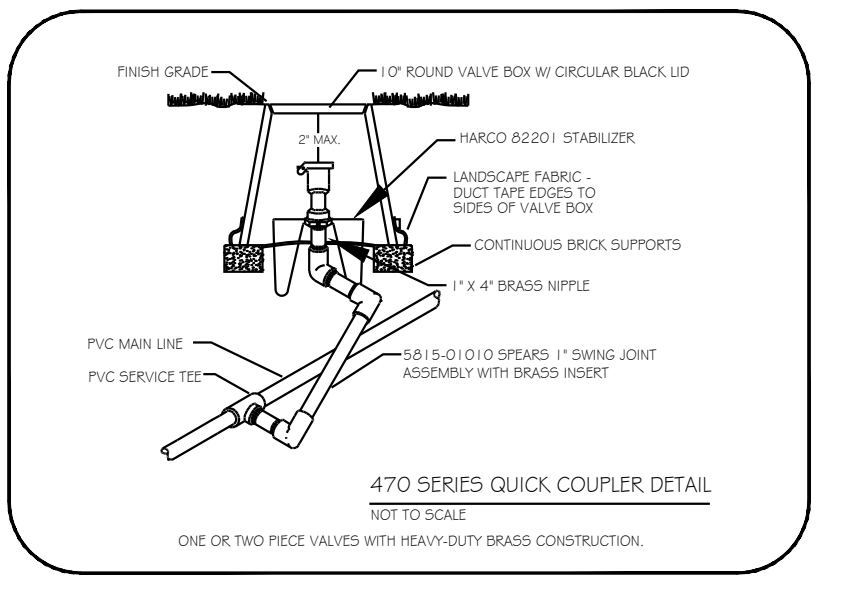
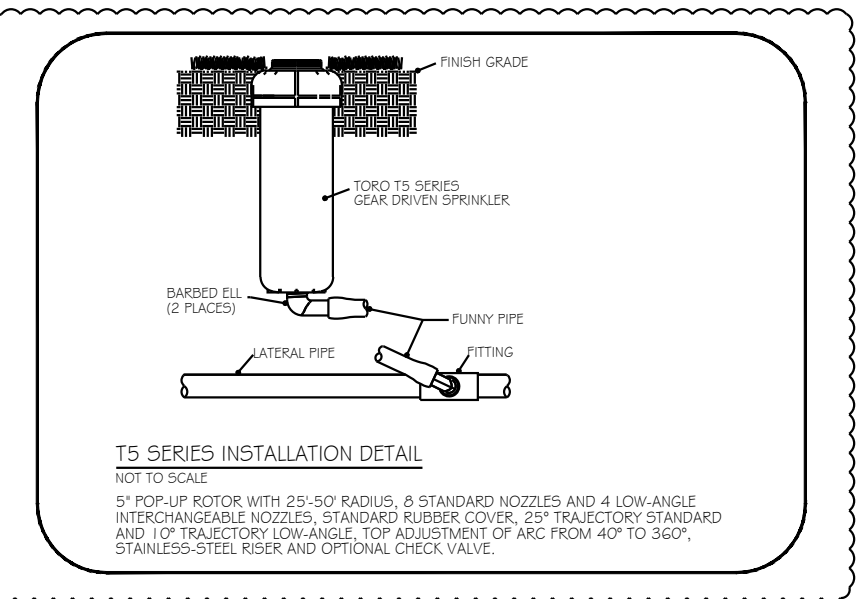
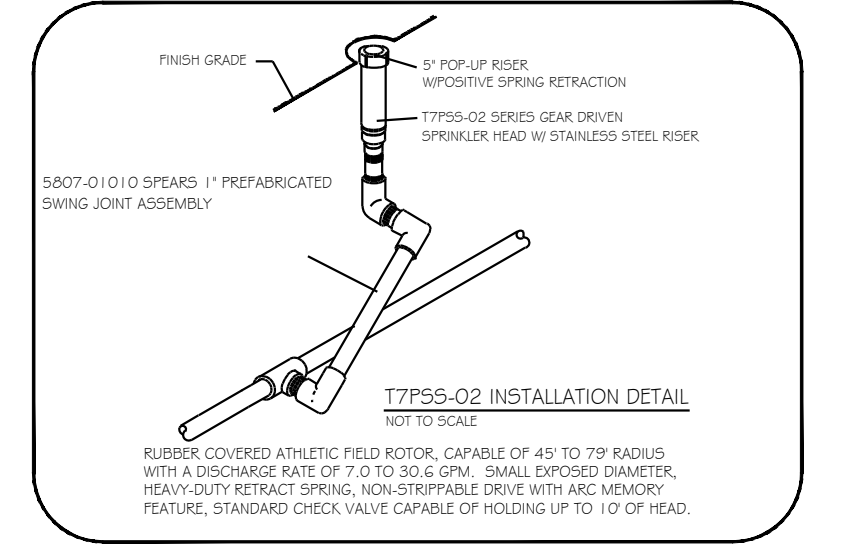
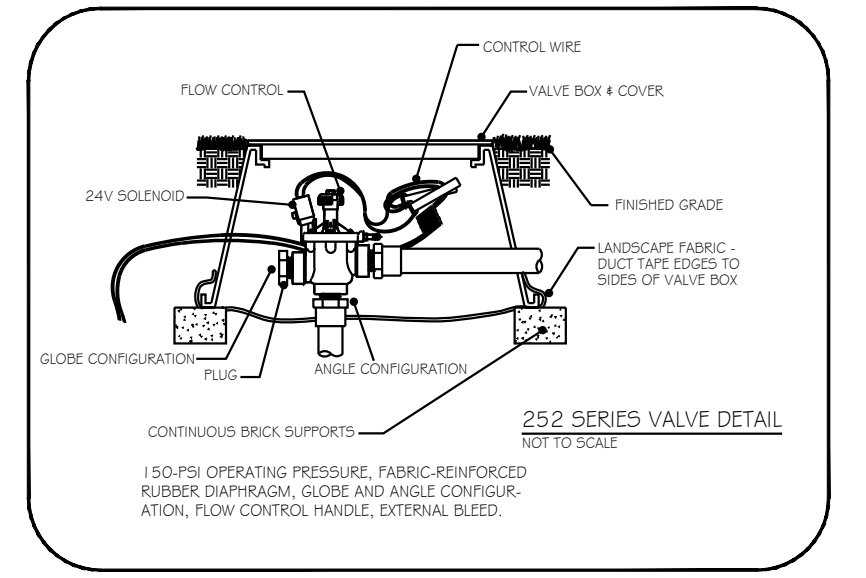
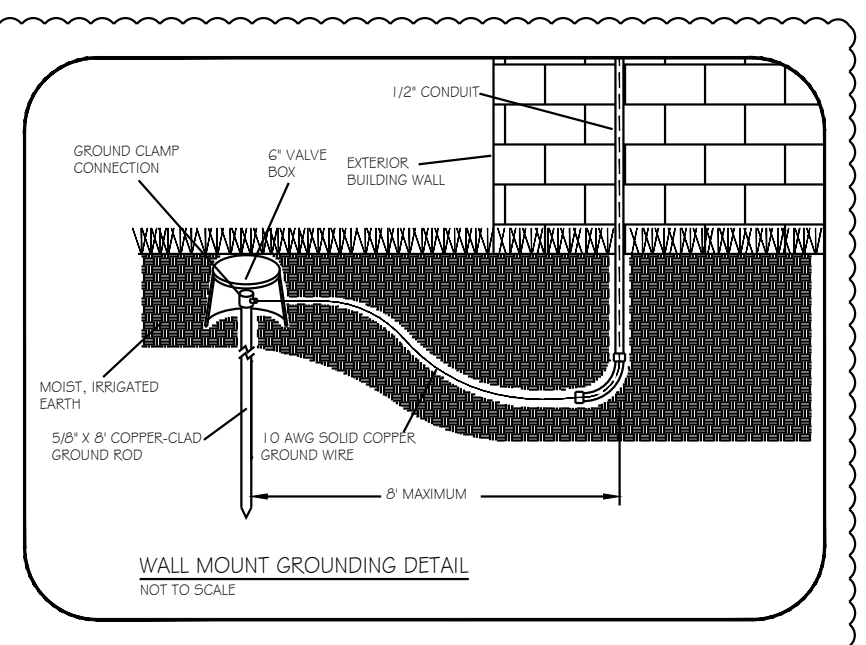
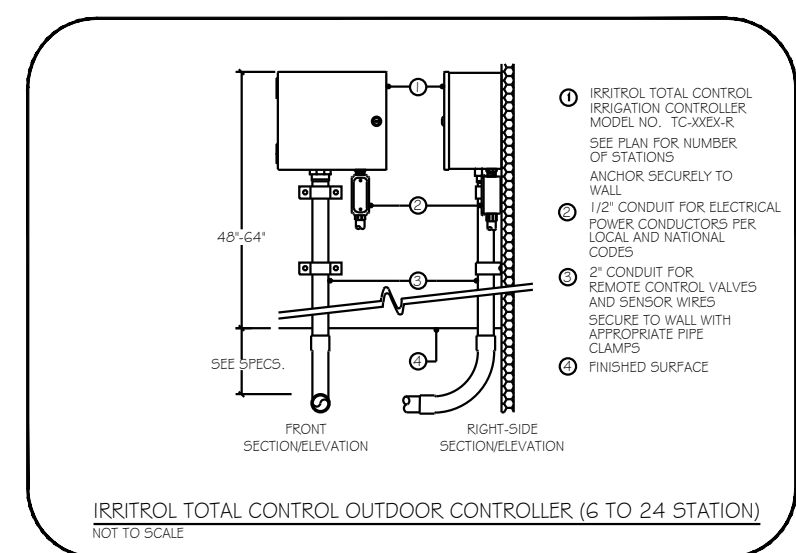
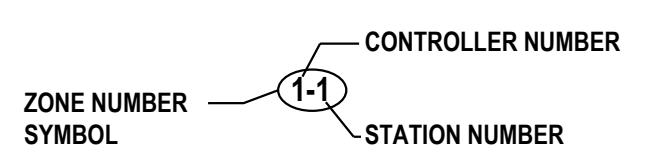
- NOT SHOWN
- #14 UL APPROVED 24V RED CONTROL WIRE WITH A #14 UL APPROVED WHITE COMMON WIRE
 - POINT OF CONNECTION (P.O.C.)
 - 4ALF-209-02 APOLLO 2-1/2" REDUCED PRESSURE BACKFLOW PREVENTER
 - CP100B MUNRO COMPLETE PRO II PUMP PACKAGE (INCLUDES 1 HP PUMP, PUMP CONTROL W/ BUILT-IN PUMP PROTECTION AND ENCLOSURE)
 - 206 SERIES RED/WHITE LINE SIZE ISOLATION VALVE (2-1/2" AND SMALLER)

GENERAL NOTES:

1. COORDINATE THIS WORK WITH ALL OTHER TRADES.
2. ALL PLUMBING AND ELECTRICAL SHALL BE INSTALLED ACCORDING TO STATE AND LOCAL CODES.
3. ALL SLEEVES SHALL BE 4" PVC CLASS 160 (UNLESS OTHERWISE SPECIFIED). SLEEVE INSTALLATION SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
4. ALL PIPE NOT SIZED DOWNSTREAM OF VALVE IS 1".
5. IRRIGATION CONTRACTOR'S POINT OF CONNECTION SHALL BE ON DOWNSTREAM SIDE OF EXISTING IRRIGATION WATER METER AT APPROXIMATE LOCATION SHOWN ON PLAN. CONTRACTOR SHALL VERIFY THERE IS AN EXISTING MEANS OF WINTERIZATION FOR SUPPLY LINE UPSTREAM OF IRRIGATION CONTRACTOR'S POINT OF CONNECTION.
6. 115V POWER INTO CONTROLLER SHALL BE SUPPLIED BY ELECTRICAL CONTRACTOR.
7. CONTROLLER AND RAIN SENSOR SHALL BE MOUNTED AT LOCATION SHOWN ON PLAN (VERIFY EXACT LOCATION WITH OWNER'S REPRESENTATIVE).
8. IRRIGATION CONTRACTOR SHALL ADJUST THE FLOW CONTROL FEATURE ON ALL ELECTRIC VALVES PER THE MANUFACTURER'S RECOMMENDATIONS TO MAXIMIZE THE VALVES PERFORMANCE AND LONGEVITY.
9. INSTALL A BOOSTER PUMP AND RELATED EQUIPMENT AS SPECIFIED. 230V/1HP POWER SUPPLY FOR PUMP SHALL BE BY ELECTRICAL CONTRACTOR.
10. IRRIGATION PIPE AND EQUIPMENT SHOWN IN PAVED AREAS IS FOR CLARITY ONLY AND SHALL BE INSTALLED WITHIN THE TURF & LANDSCAPE AREAS.
11. PIPE ROUTING IS DIAGRAMMATIC. ALL EQUIPMENT AND PIPE ARE TO BE FIELD ADJUSTED TO TAKE INTO CONSIDERATION ANY OBSTRUCTIONS AND ALL LANDSCAPE.
12. NOTE: ALL REFERENCES TO EXISTING IRRIGATION SYSTEMS AND THEIR COMPONENTS ARE BASED ON ORIGINAL BID DOCUMENTS AND AS-BUILTS (IF AVAILABLE). IRRIGATION CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH EXISTING IRRIGATION SYSTEM(S) PRIOR TO INSTALLATION OF ANY NEW IRRIGATION.

WATER REQUIREMENTS: 64 GPM @ 71 PSI (AT POINT OF CONNECTION)
 [59 PSI (ON DISCHARGE SIDE OR PUMP)]

ZONE NUMBER	VALVE SIZE	GPM	ZONE TYPE
1-1	1-1/2"	45	ATHLETIC TURF ROTORS
1-2	1-1/2"	60	ATHLETIC TURF ROTORS
1-3	1-1/2"	60	ATHLETIC TURF ROTORS
1-4	1-1/2"	45	ATHLETIC TURF ROTORS
1-5	1-1/2"	45	ATHLETIC TURF ROTORS
1-6	1-1/2"	64	MEDIUM TURF ROTORS
1-7	1-1/2"	60	ATHLETIC TURF ROTORS
1-8	1-1/2"	45	ATHLETIC TURF ROTORS
1-9	1-1/2"	60	ATHLETIC TURF ROTORS
1-10	1-1/2"	60	ATHLETIC TURF ROTORS
1-11	1-1/2"	45	ATHLETIC TURF ROTORS
1-12	1-1/2"	45	ATHLETIC TURF ROTORS
1-13	1-1/2"	60	ATHLETIC TURF ROTORS
1-14	1-1/2"	45	ATHLETIC TURF ROTORS
1-15	1-1/2"	33	ATHLETIC TURF ROTORS
1-16	1-1/2"	60	ATHLETIC TURF ROTORS
1-17	1-1/2"	45	ATHLETIC TURF ROTORS



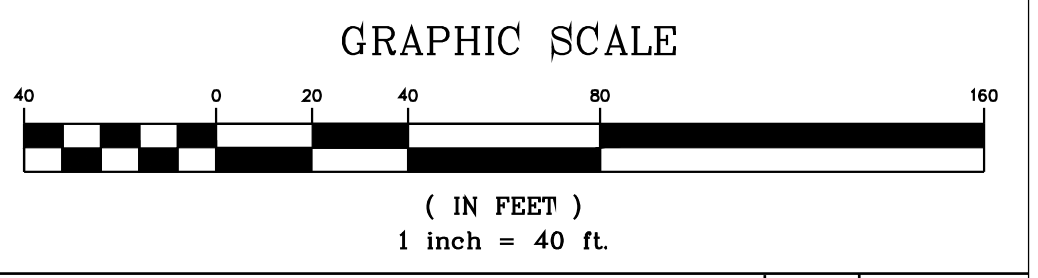
Spartan Distributors

WaterSense PARTNER

487 W. Division St.
 Sparta, MI 49345
 Ph: 616.887.7301
 Fax: 616.887.6288

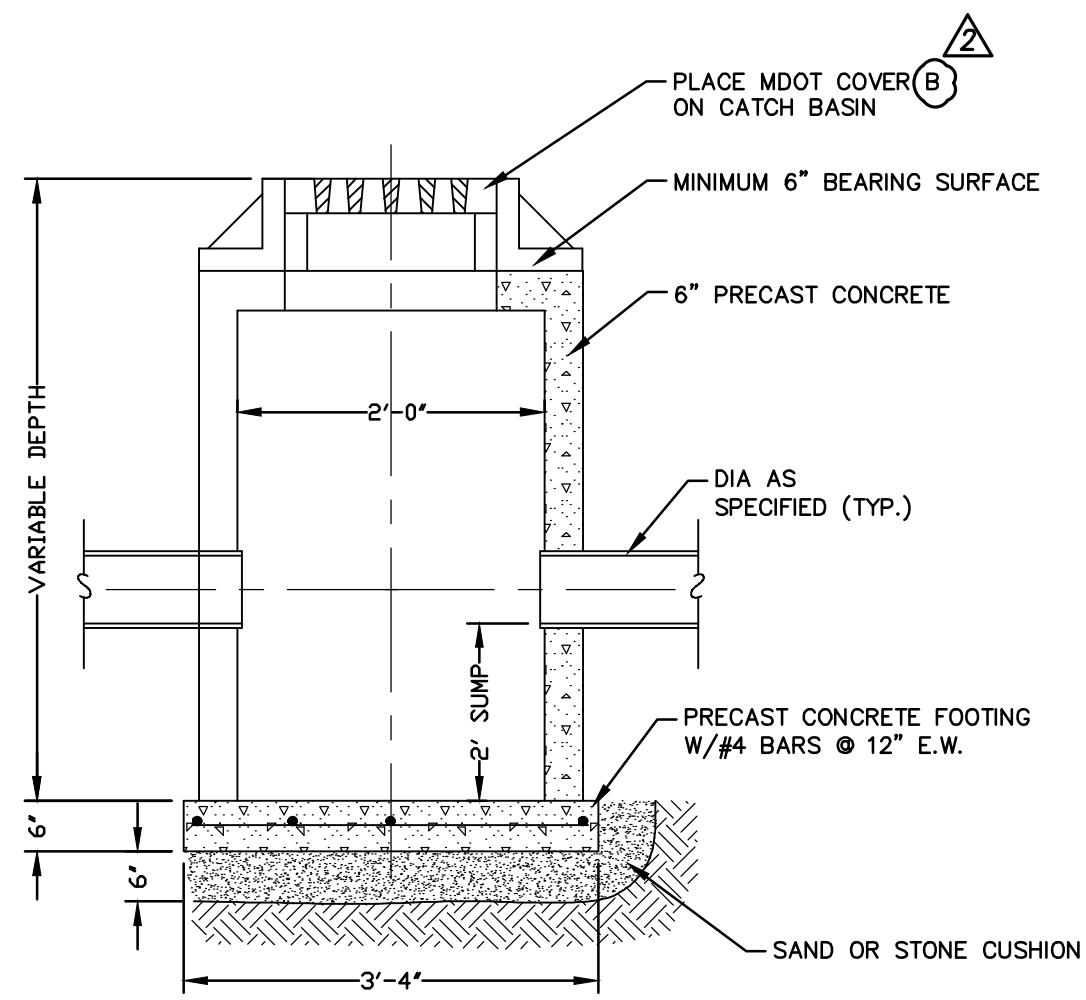
1050 Opdyke Road
 Auburn Hills, MI 48326
 Ph: 248.373.8800
 Fax: 248.373.8899
 800.822.2216

Design By: **L. CHORKALUK, C.L.P.**
 Plan #: **23-009C**
 Date: **01/23/23**
 Revisions: **01/23/23**

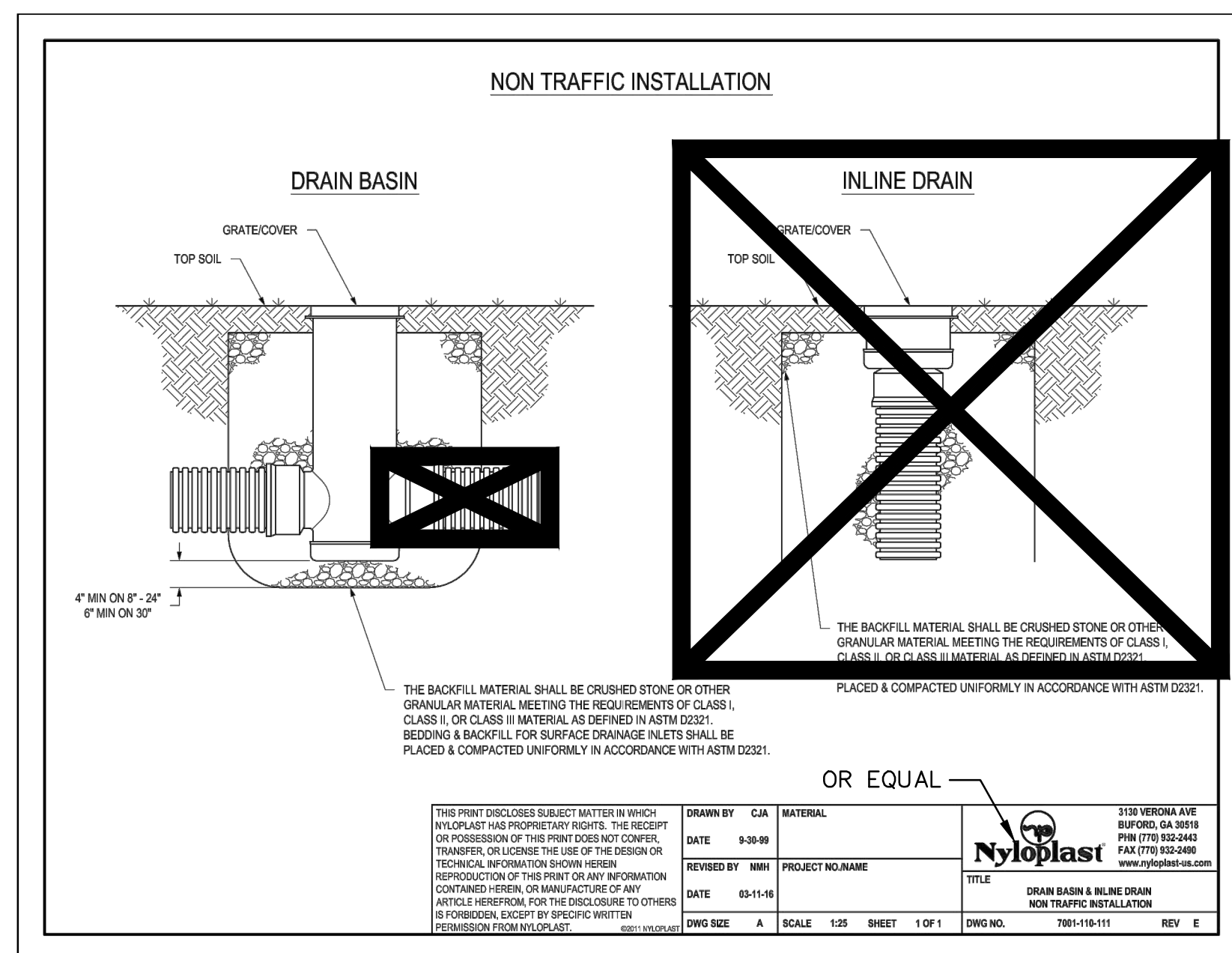


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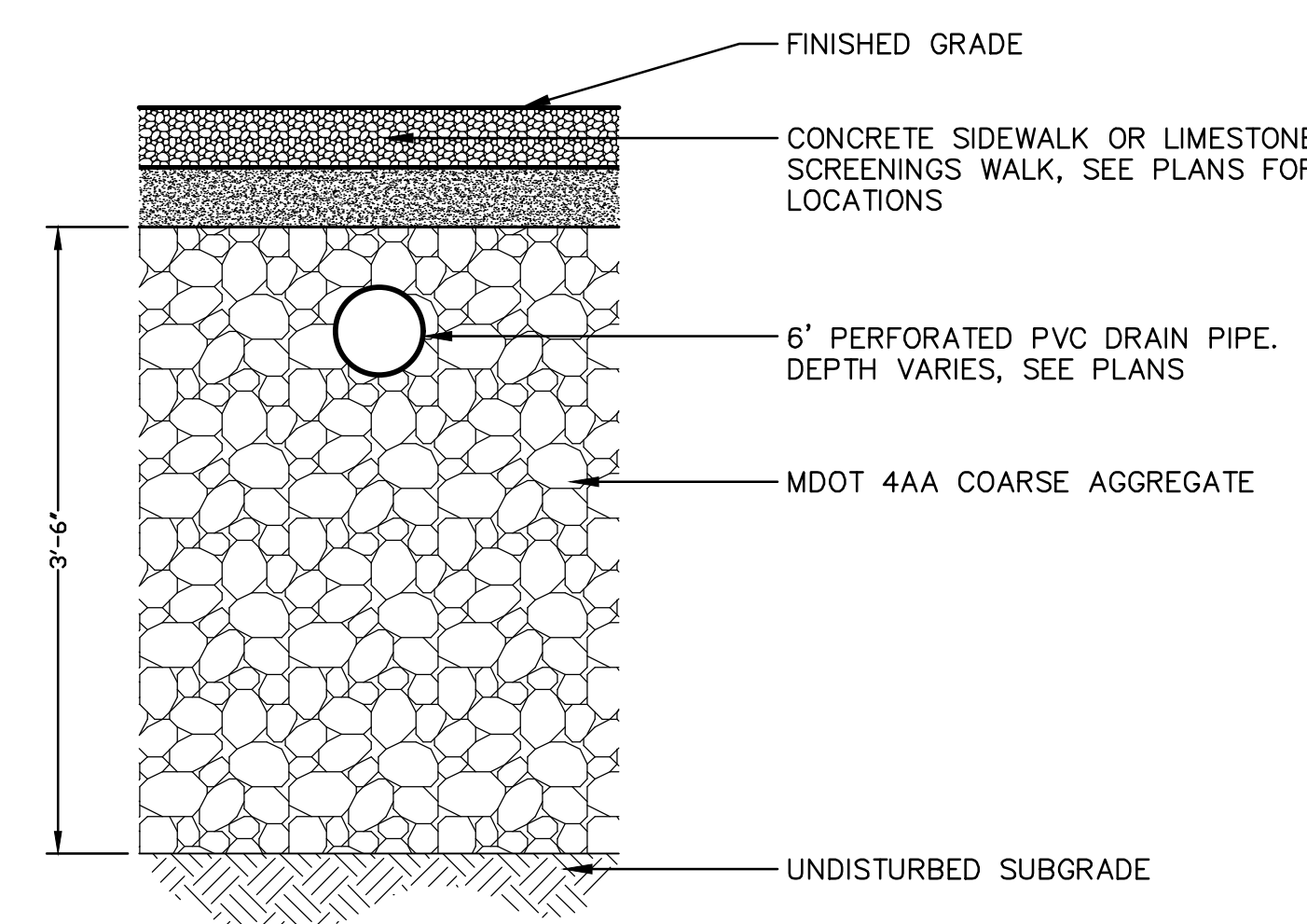
THIS DESIGN IS BASED ON INFORMATION PROVIDED BY THE ARCHITECT AND/OR OWNER WHO ASSUMES FULL RESPONSIBILITY FOR ITS CORRECTNESS.



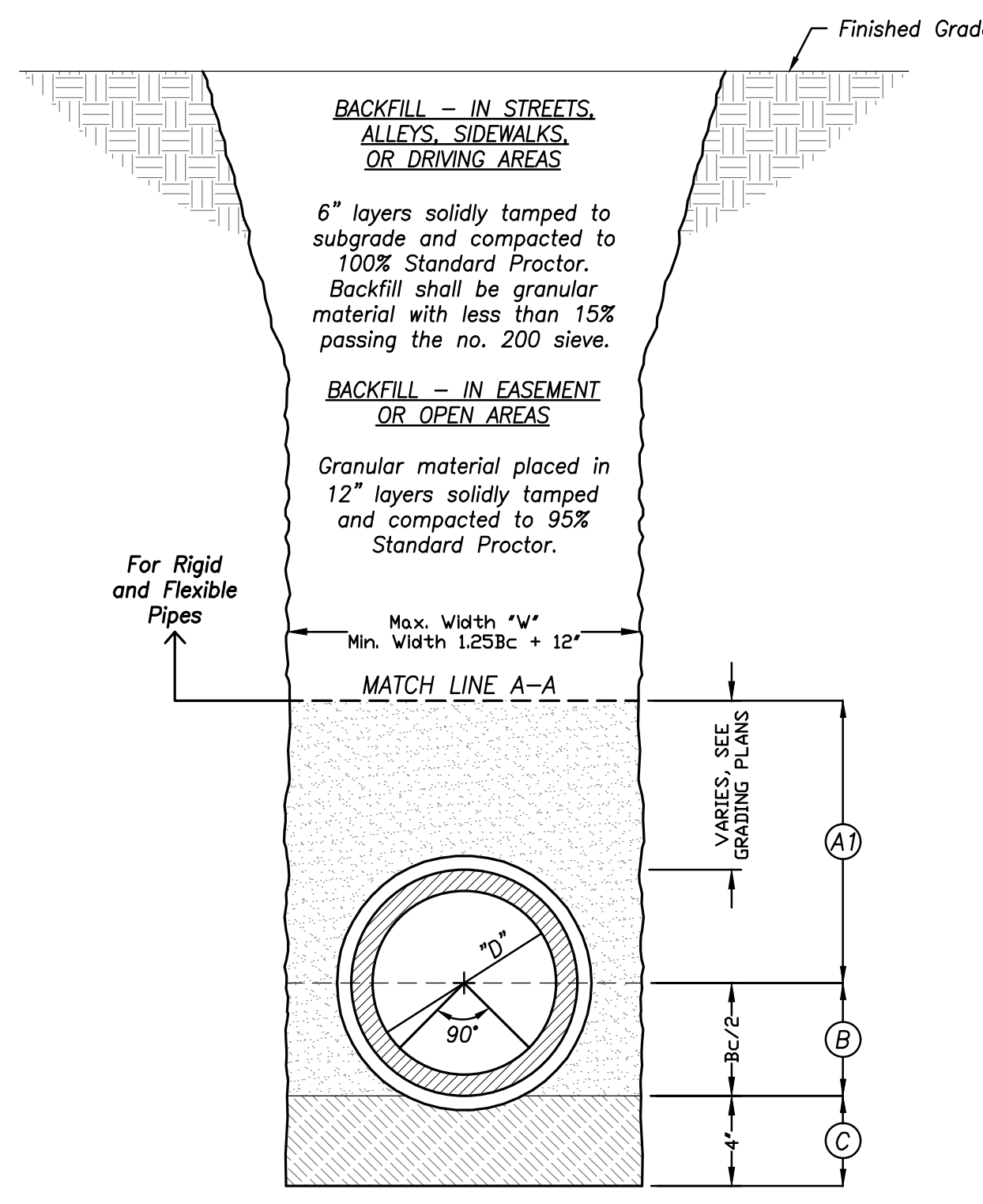
STANDARD CATCH BASIN - 2'
NOT TO SCALE



YARD DRAIN BASIN
NOTE: FOR REFERENCE ONLY. INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS
NOT TO SCALE



SUBSURFACE DETENTION TRENCH
SCALE: 1" = 1'-0"



PIPE BEDDING
NOT TO SCALE

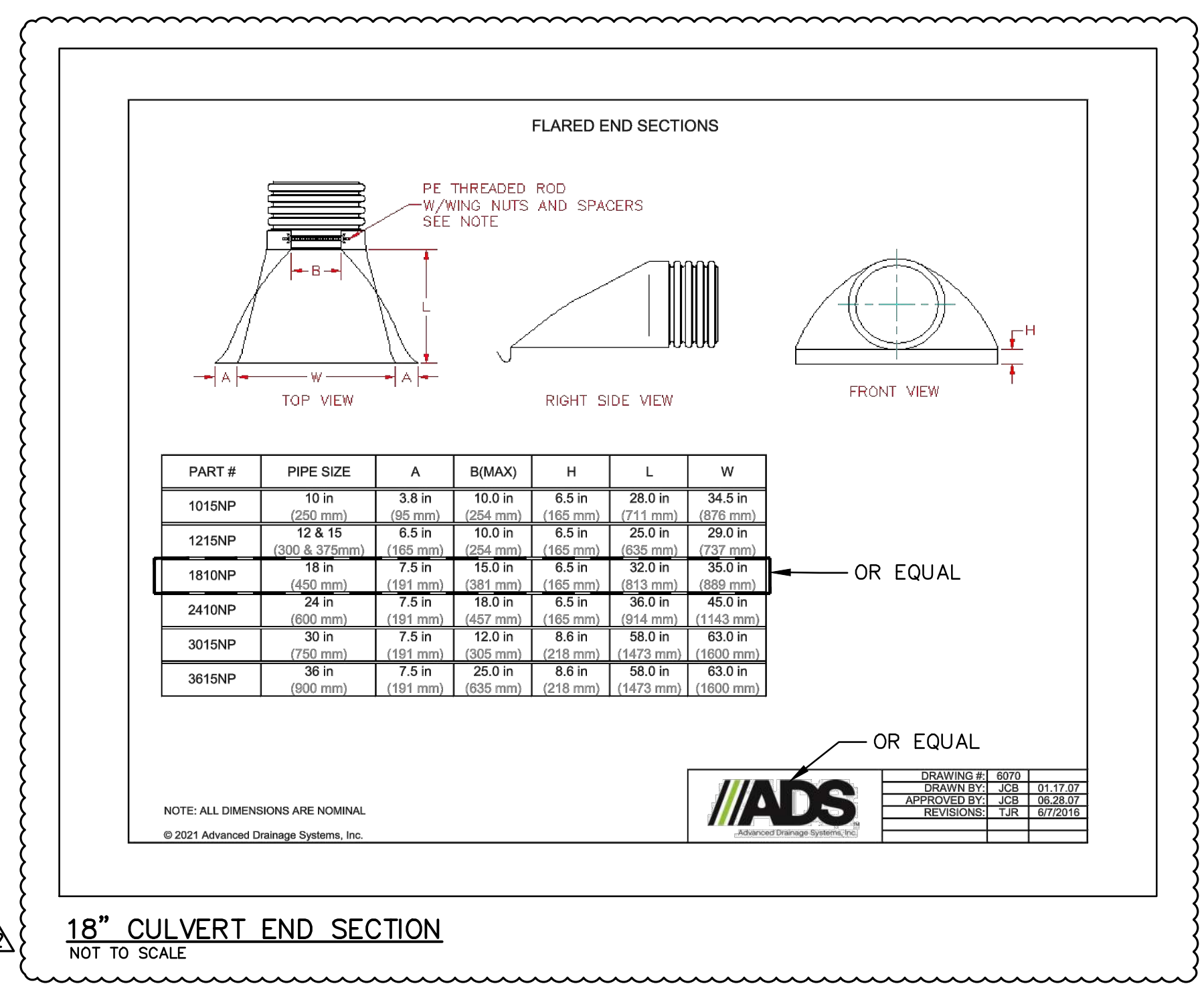
- (A1) Hand placed backfill and mechanically tamped in 6" layers using suitable on-site granular material or "B" Borrow.
- (A2) Crushed stone or gravel, INDOT No. 8, 9, or 73 with a 50% mechanical crush count conforming to ASTM D-2321 Class I or II material, installed in 4" balanced lifts and mechanically tamped.
- (B) Hand placed backfill and mechanically tamped in 4" layers using suitable granular material or "B" Borrow.
- (C) Pipe shall be bedded firmly on undisturbed ground, excavate for bells, no weight shall be supported by the bells.
- (D) Pipe shall be bedded on a minimum 4" of Class I, II, or III material per ASTM D-2321.

- Notes:
- Backfill material shall be free from debris, organic material, stones, frozen material, etc.
 - All pipe bedding material shall be hand placed around the haunch and sides of the pipe to ensure proper compaction and complete filling of all voids.

PIPE DIA.	"W"
6"	18"
8"	24"
10"	24"
12"	30"
15"	35"
18"	39"
21"	42"
24"	45"
27"	48"
30"	53"
36"	68"
42"	75"
48"	82"

An allowable "W" of 30" will be permitted where depth of cut exceeds 12 ft. and extra strength pipe is specified.
D = Pipe diameter (internal)
Bc = Pipe diameter (external)

PIPE BEDDING AND BACKFILL APPLIES TO ALL UTILITY PIPING

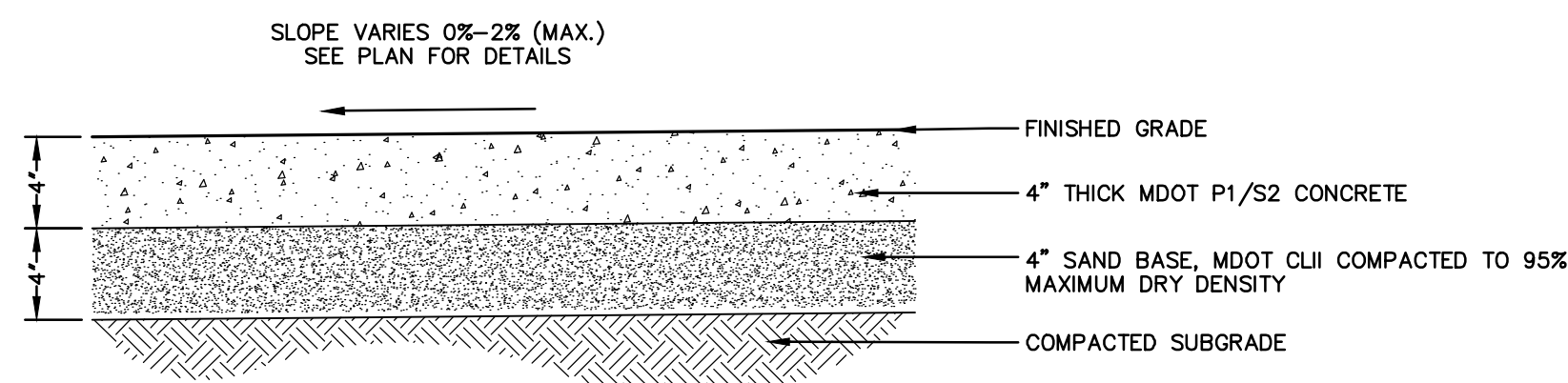


18" CULVERT END SECTION
NOT TO SCALE

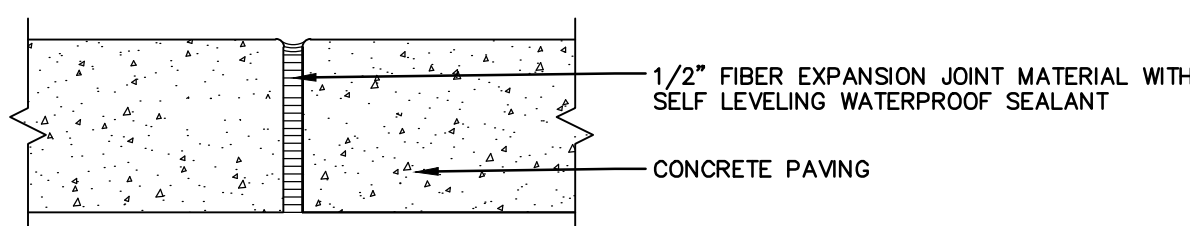
NO.	REVISION DESCRIPTION:	BY:	DATE:
2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023

NOTE:
ALL CONCRETE PAVED SURFACES FOR PUBLIC ACCESS SHALL BE LESS THAN 2% CROSS SLOPE AND LESS THAN 5% RUNNING SLOPE. VERIFY ALL GRADES PRIOR TO POURING SURFACES. CONCRETE LANDINGS SHALL BE LESS THAN 2% COMBINED IN ALL DIRECTIONS.

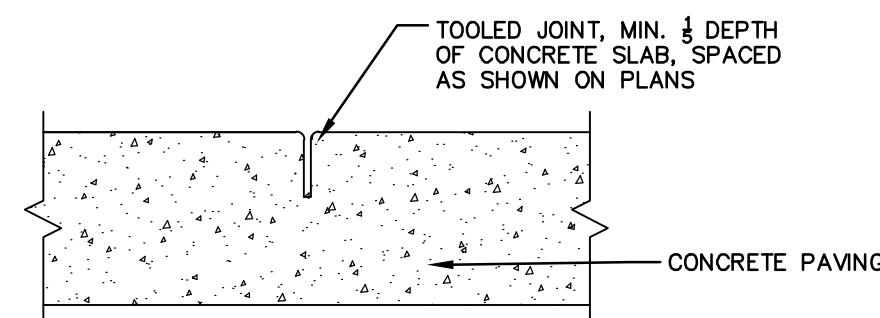
PROVIDE 1-1/2" DEPTH TOOLED CONTROL JOINTS AT INTERVALS EQUAL TO THE WIDTH OF THE WALK OR AS SHOWN ON THE PLANS.



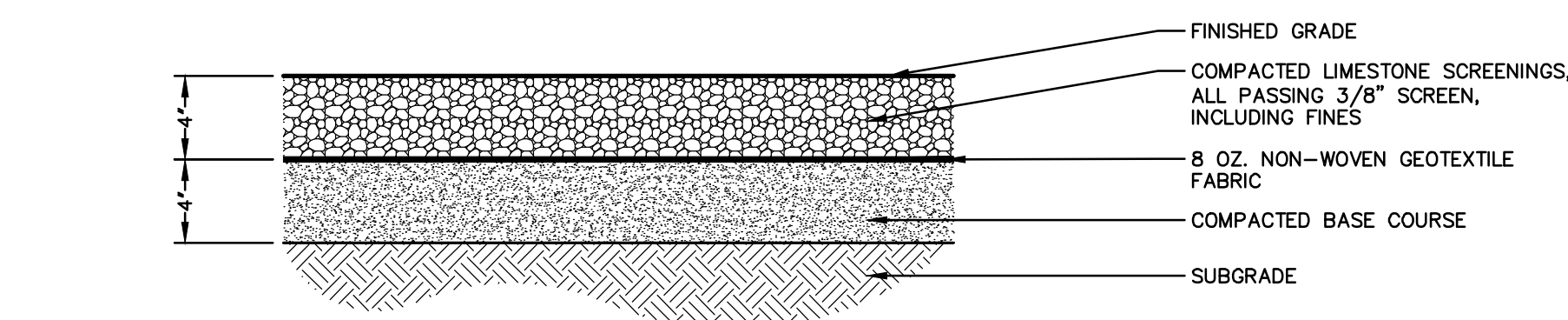
CONCRETE SIDEWALK
SCALE: 1-1/2" = 1'-0"



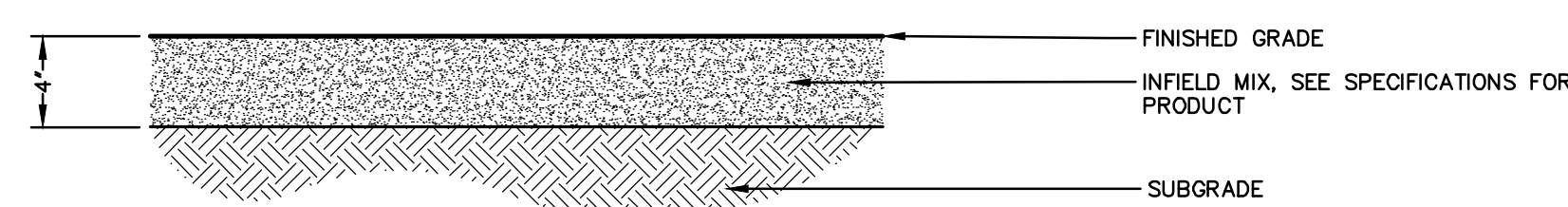
CONCRETE EXPANSION JOINT
SCALE: 3" = 1'-0"



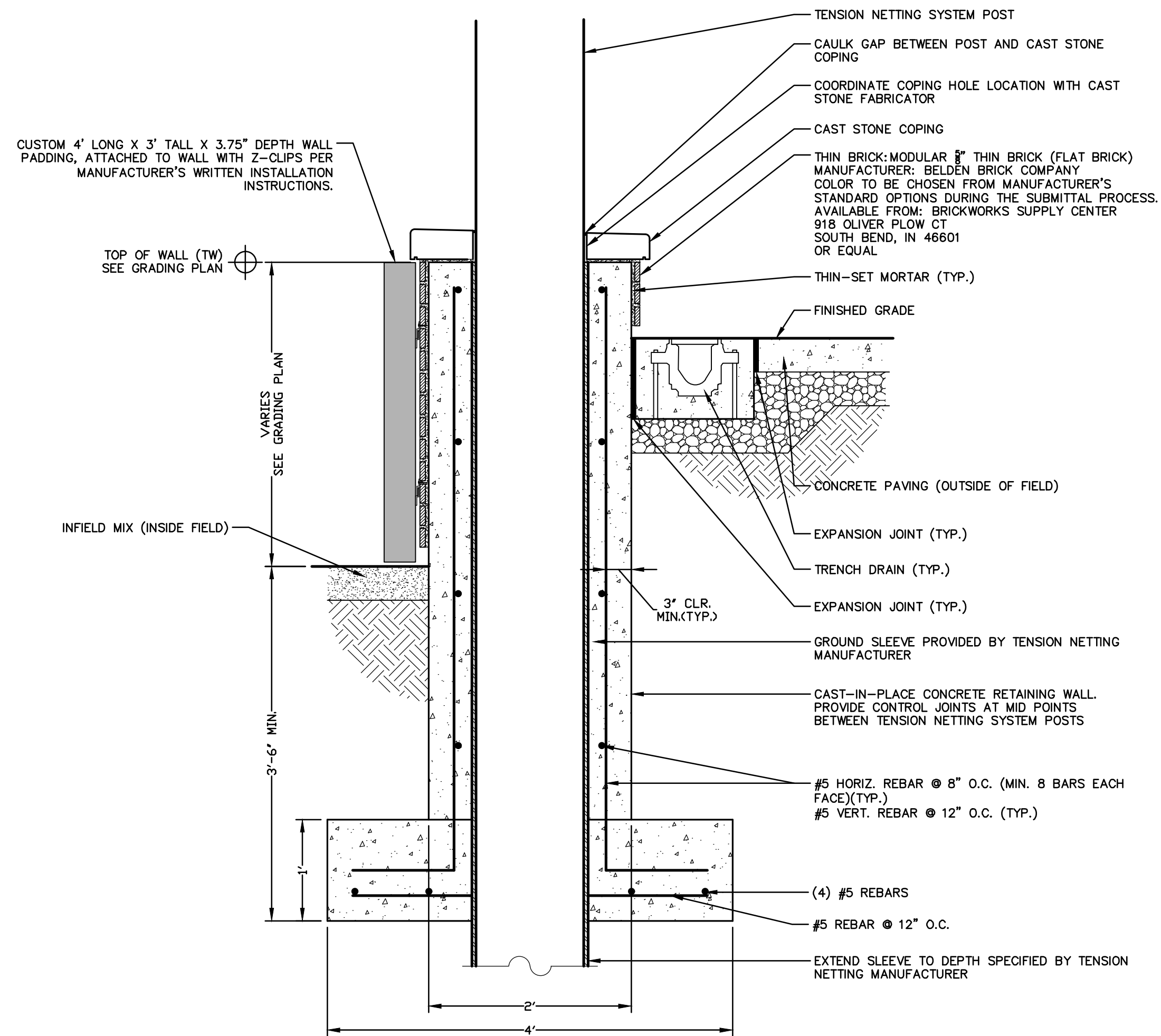
CONCRETE CONTROL JOINT
SCALE: 3" = 1'-0"



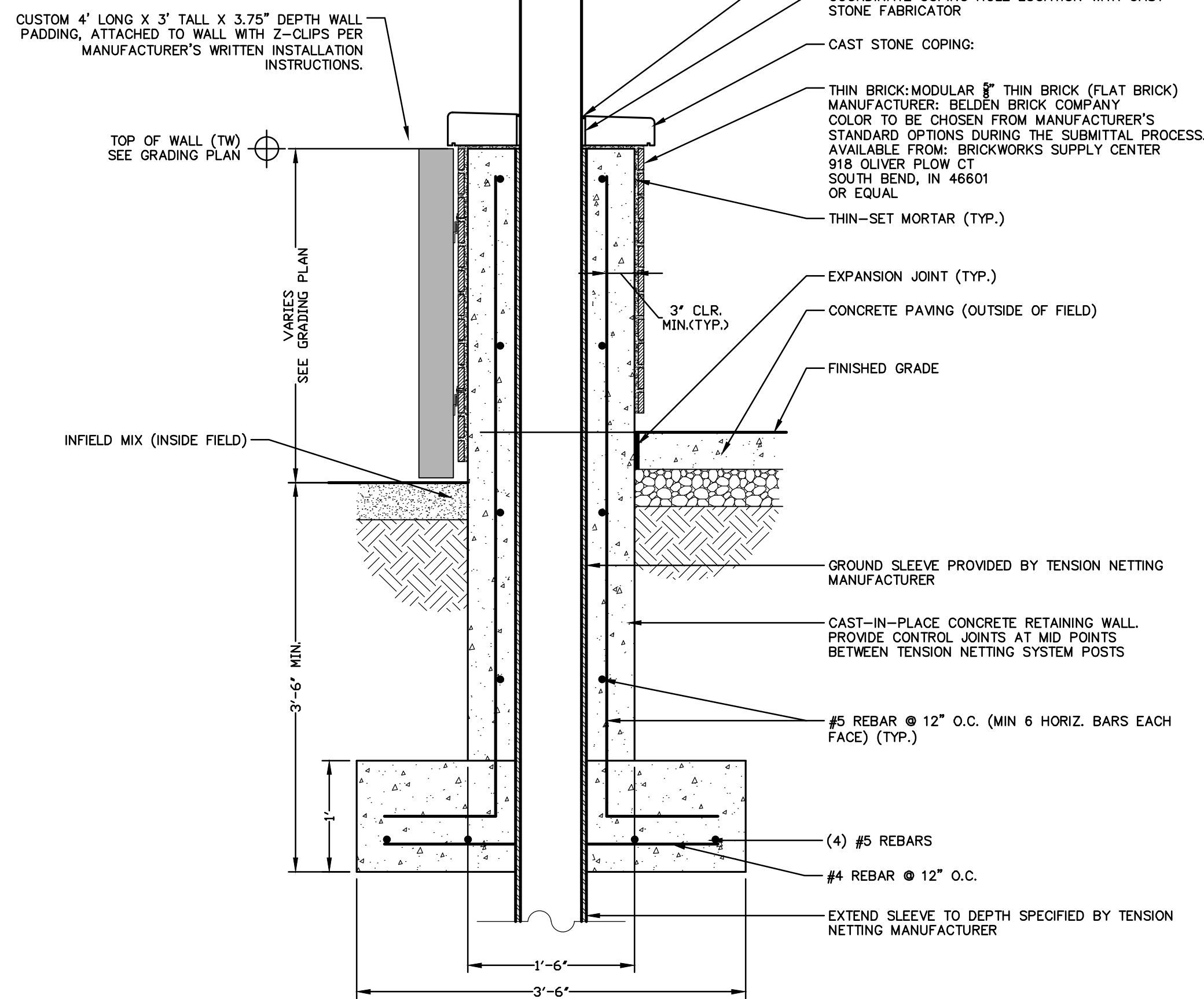
LIMESTONE SCREENINGS WALK
SCALE: 1-1/2" = 1'-0"



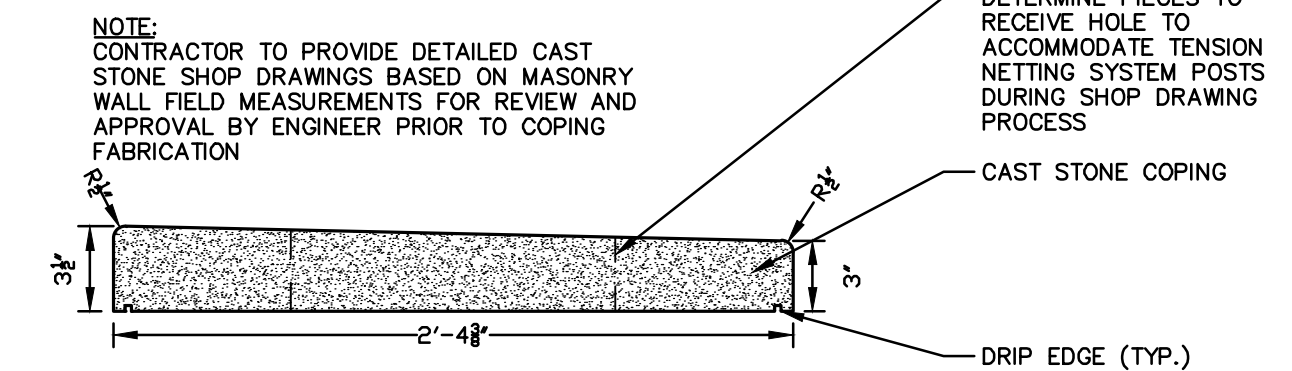
INFIELD MIX
SCALE: 1-1/2" = 1'-0"



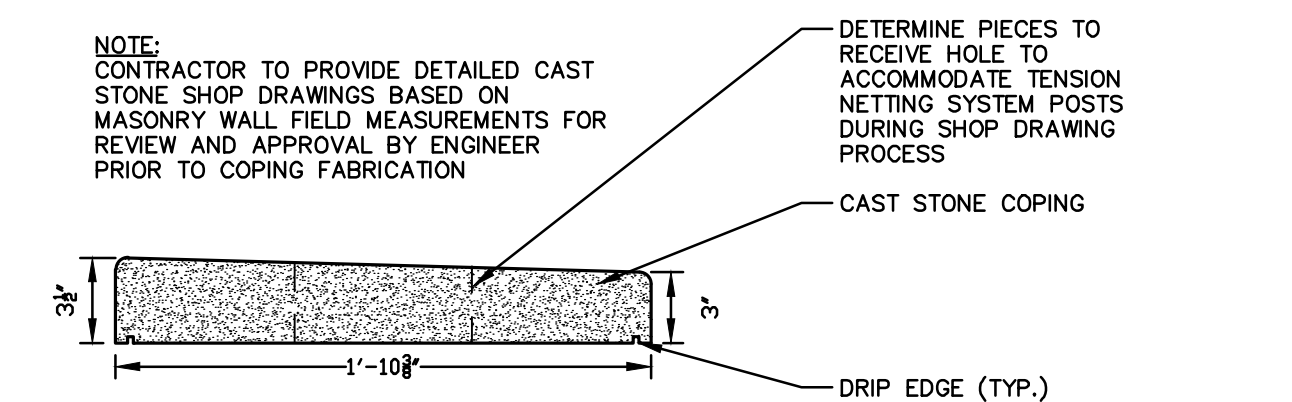
BASEBALL BACKSTOP MASONRY WALL
SCALE: 1" = 1'-0"



SOFTBALL BACKSTOP MASONRY WALL
SCALE: 1" = 1'-0"



BASEBALL MASONRY BACKSTOP WALL CAST STONE COPING
SCALE: 1-1/2" = 1'-0"



SOFTBALL MASONRY BACKSTOP WALL CAST STONE COPING
SCALE: 1-1/2" = 1'-0"

ZURN Z886
6-1/4 [159] WIDE REVEAL TRENCH DRAIN SYSTEM CONCRETE INSTALL

Dimensional data (inches and [mm]) are subject to manufacturing tolerances and change without notice.

STEP 1: Four inch [102mm] concrete is minimum. Guidelines for reinforcing an encasement would be minimum of 4000 PSI [27.5 MPa]. Concrete must be vibrated to remove air voids in encasement, especially under the frame rails.

STEP 2: Trench excavation must be the minimum of 4" [101.6mm] or the slab thickness surrounding the trench. Soft and/or shifting soil substrates may cause cracking of the concrete and consequent movement of the trench. It is critical that the concrete be poured on an adequate foundation. Verify depth of trench excavation allows for the same thickness of concrete under and beside the trench as the surrounding slab thickness.

STEP 3: Upon completion of the excavation, the channel should be placed in numeric order along side the excavation according to the job layout. Each trench section has a trench identification number and a flow direction indicating its sequence within the system. Grates are not installed at this time.

STEP 4: An alternative means of installation is to suspend the trench drain as shown. Wooden braces to hang the trench run can be attached to the drain body through the grate lock down bars as illustrated below.

STEP 5: Shipping / installation bars will be placed on ALL channels when no frame is attached, prior to shipment. This is to stabilize the rails and maintain inside dimensions during shipping / installation. Bars are for shipping and installation purposes only and must be removed upon completion of the concrete pour.

STEP 6: Pour the concrete around the three sides of the trench drain. Be certain to adequately VIBRATE the concrete as it is being placed. Proper vibration will eliminate any unwanted voids within the concrete pour. If sidewalls are used, a first and second pour are recommended.

Finish troweling should be done to set the top edge of the trench drain 1/16" [1.6mm] below the floor grade. Remember to compensate for the concrete shrinkage that may occur during cure so that the edge of the trench drain does not protrude above the finished floor grade.

WARNING: Cancer and Reproductive Harm - www.P65Warnings.ca.gov
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AVERTISSEMENT: Cancer et effets néfastes sur la reproduction - www.P65Warnings.ca.gov

Zurn Industries, LLC | Specification Drainage Operation
1801 Pittsburgh Avenue, Erie, PA, U.S.A. 16502 | Ph. 855-663-9878, Fax 814-454-7929
In Canada | Zurn Industries Limited
3544 Nantass Drive, Mississauga, Ontario L4V 1L2 | Ph. 905-405-8272, Fax 905-405-1292
www.zurn.com

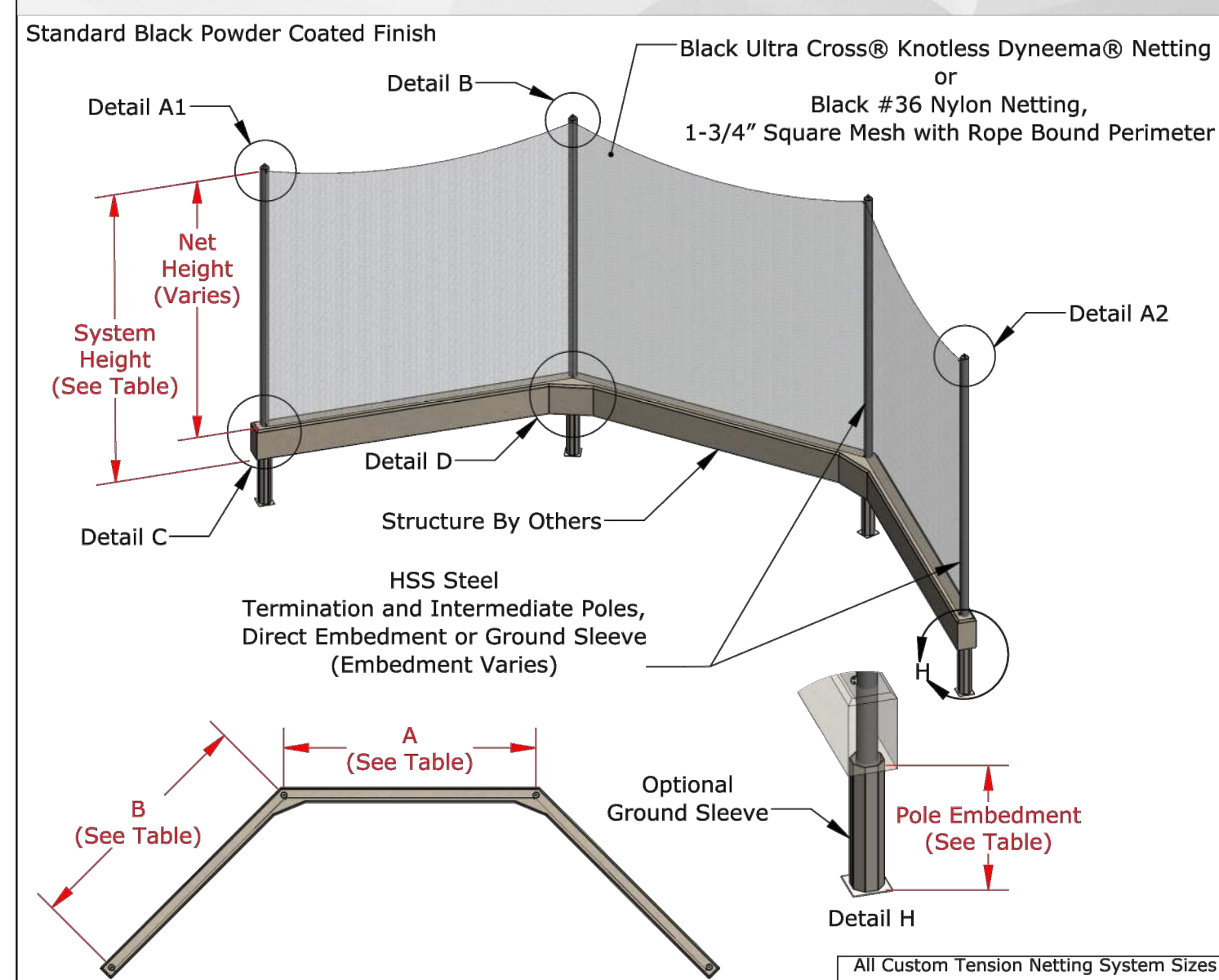
Rev. A
Date: 5/21/2018
C.N. No. 140052
Form # FT1023

Sheet 1 of 1

TRENCH DRAIN
NOT TO SCALE

NOTE:
FOR REFERENCE ONLY. INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS

2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
NO.	REVISION DESCRIPTION:	BY:	DATE:



Part No.	Model	Net Material	System Height	Pole Size	Pole Embedment	A	B
TNPPB36	Standard Baseball	#36 Nylon	40'-0"	HSS 10.750 x 0.250	5'-0"	40'-0"	40'-0"
TNPPBUC	Standard Baseball	Ultra Cross	40'-0"	HSS 8.625 x 0.250	5'-0"	40'-0"	40'-0"
TNPPS36	Standard Softball	#36 Nylon	30'-0"	HSS 6.625 x 0.280	4'-0"	20'-0"	30'-0"
TNPPSUC	Standard Softball	Ultra Cross	30'-0"	HSS 6.625 x 0.280	4'-0"	20'-0"	30'-0"
TNPP36	Custom System	#36 Nylon	Varies	Varies	Varies	Varies	Varies
TNPPUC	Custom System	Ultra Cross	Varies	Varies	Varies	Varies	Varies

Pole to Pole Tension Backstop Netting System
Sportsfield Specialties Inc 07072022

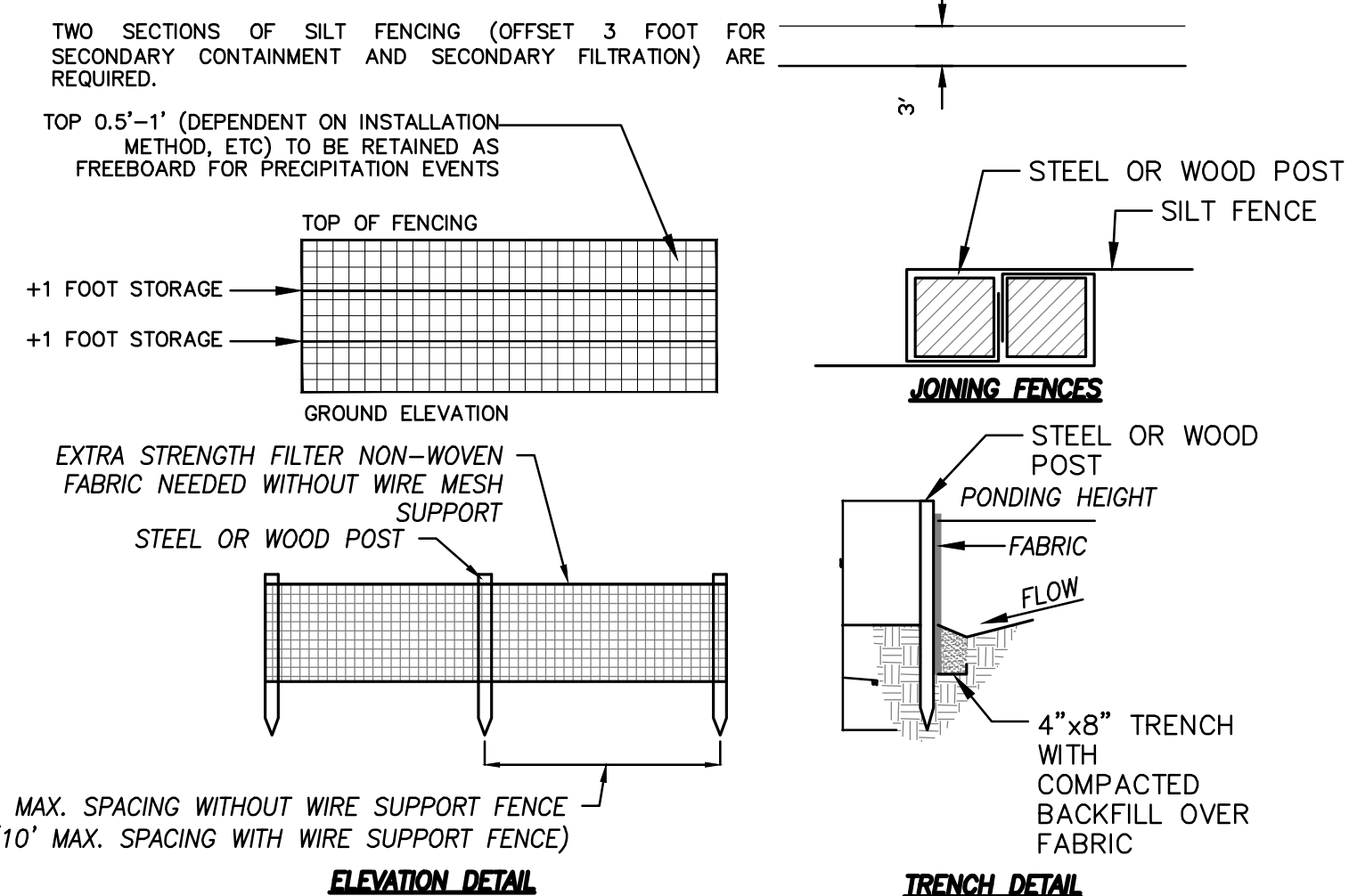
TENSION NETTING SYSTEM
NOT TO SCALE

NOTE: FOR REFERENCE ONLY. INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS

INSTALLATION NOTES

- LAY OUT THE LOCATION OF THE FENCE SO THAT IT IS PARALLEL TO THE CONTOUR OF THE SLOPE AND AT LEAST 10 FEET BEYOND THE TOE OF THE SLOPE TO PROVIDE A SEDIMENT STORAGE AREA. TURN THE ENDS OF THE FENCE UP SLOPE SUCH THAT THE POINT OF CONTACT BETWEEN THE GROUND AND THE BOTTOM OF THE FENCE END TERMINATES AT A HIGHER ELEVATION THAN THE TOP OF THE FENCE AT ITS LOWEST POINT.
- EXCAVATE AN 8-INCH DEEP BY 4-INCH WIDE TRENCH ALONG THE ENTIRE LENGTH OF THE FENCE (INSTALLATION BY PLOWING IS ACCEPTABLE)
- INSTALL SILT FENCE WITH THE FILTER FABRIC LOCATED ON THE UP-SLOPE SIDE OF THE EXCAVATED TRENCH AND THE SUPPORT POSTS ON THE DOWN-SLOPE SIDE OF THE TRENCH.
- DRIVE THE SUPPORT POSTS AT LEAST 18 INCHES INTO THE GROUND, TIGHTLY STRETCHING THE FABRIC BETWEEN THE POSTS AS EACH IS DRIVEN INTO THE SOIL. A MINIMUM OF 12 INCHES OF THE FILTER FABRIC SHOULD EXTEND INTO THE TRENCH.
- LAY THE LOWER 4 INCHES OF FABRIC ON THE BOTTOM OF THE TRENCH AND EXTEND IT TOWARD THE UP-SLOPE SIDE OF THE TRENCH.
- BACKFILL THE TRENCH WITH SOIL MATERIAL AND COMPACT IT IN PLACE.

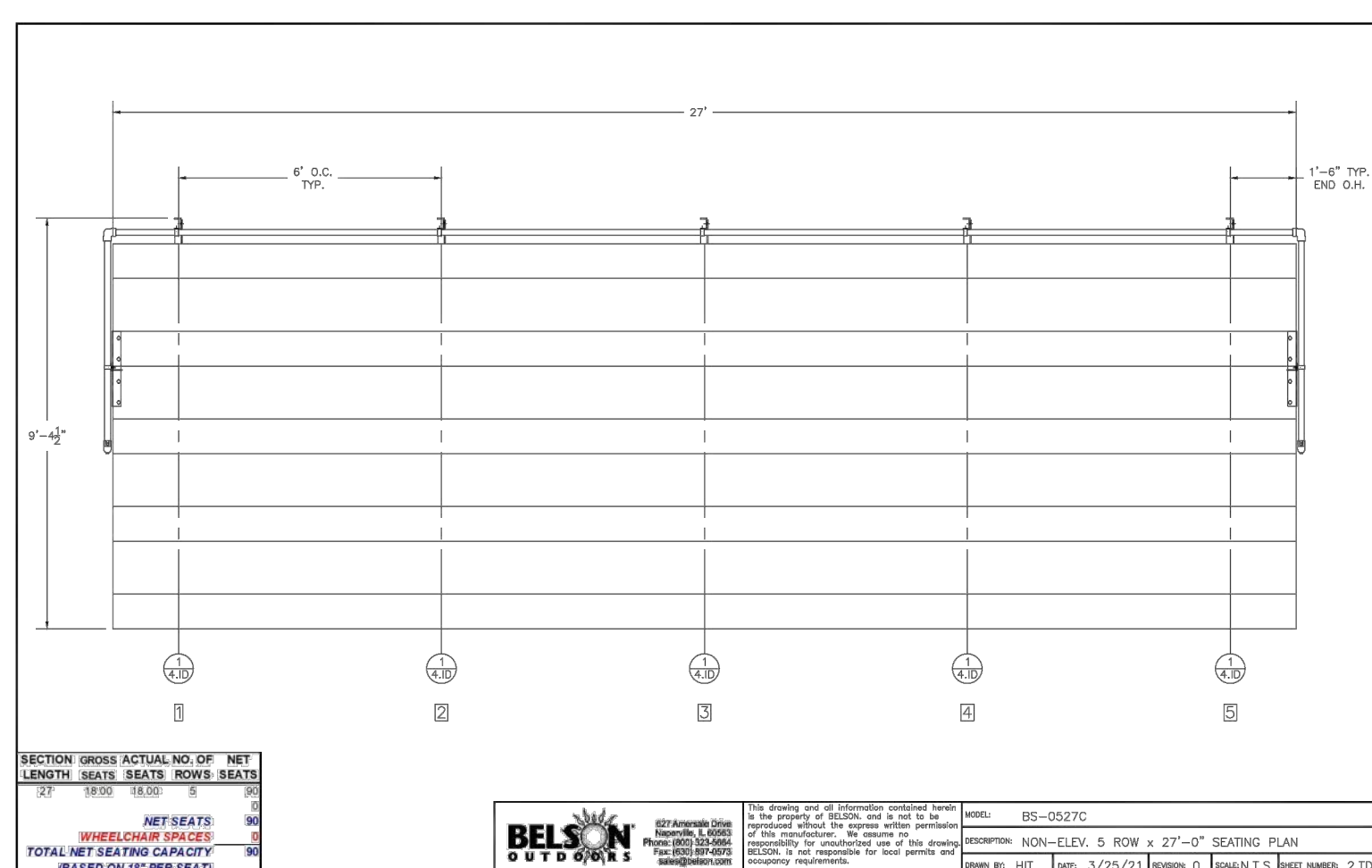
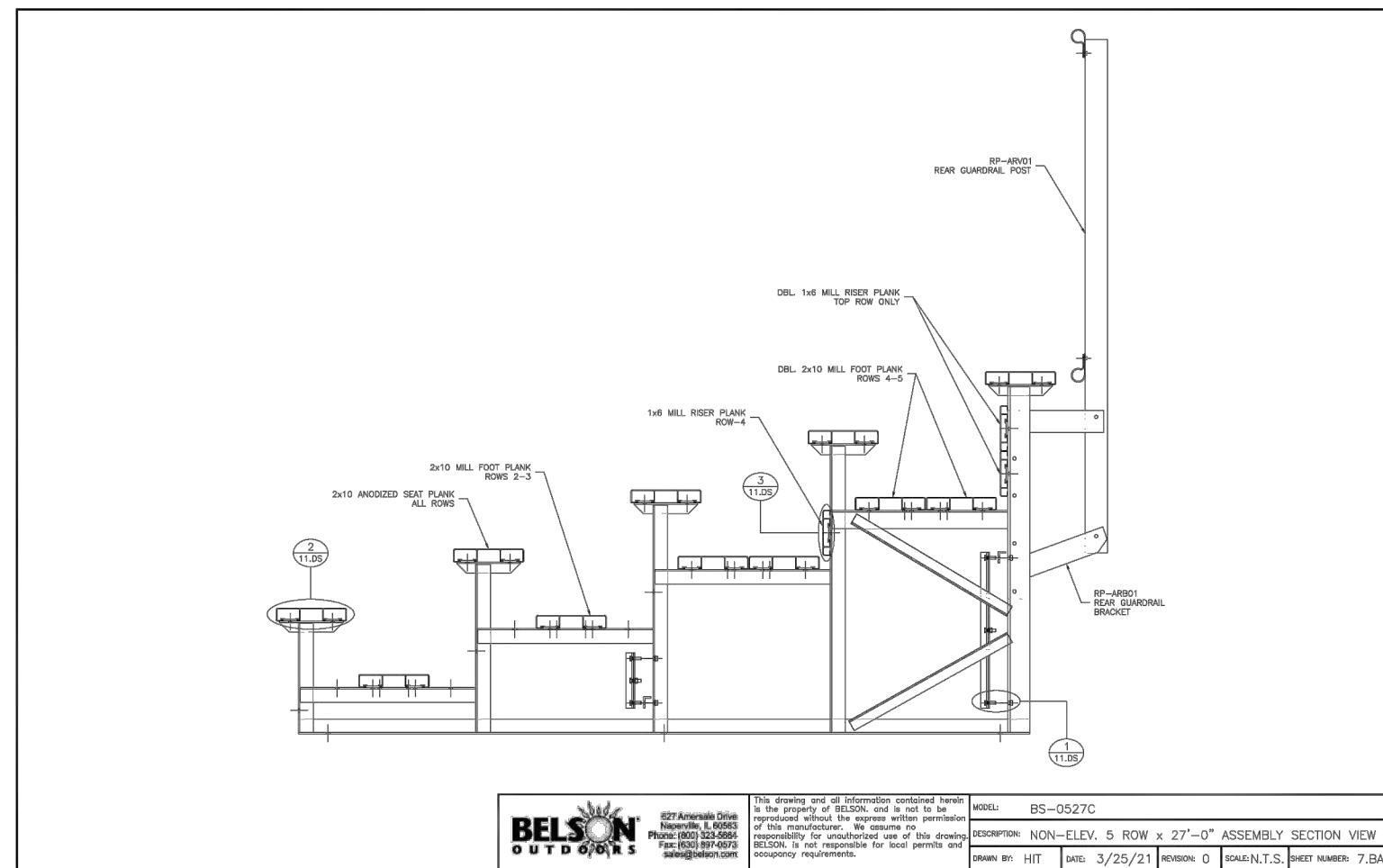
NOTE:
IF THE SILT FENCE IS BEING CONSTRUCTED ONSITE, ATTACH THE FILTER FABRIC TO THE SUPPORT POSTS AND ATTACH WOODEN LATHE TO SECURE THE FABRIC TO THE POSTS. ALLOW FOR AT LEAST 12 INCHES OF FABRIC BELOW GROUND LEVEL. COMPLETE THE SILT FENCE INSTALLATION, FOLLOWING STEPS 1 THROUGH 6 ABOVE.



SILT FENCE
NOT TO SCALE

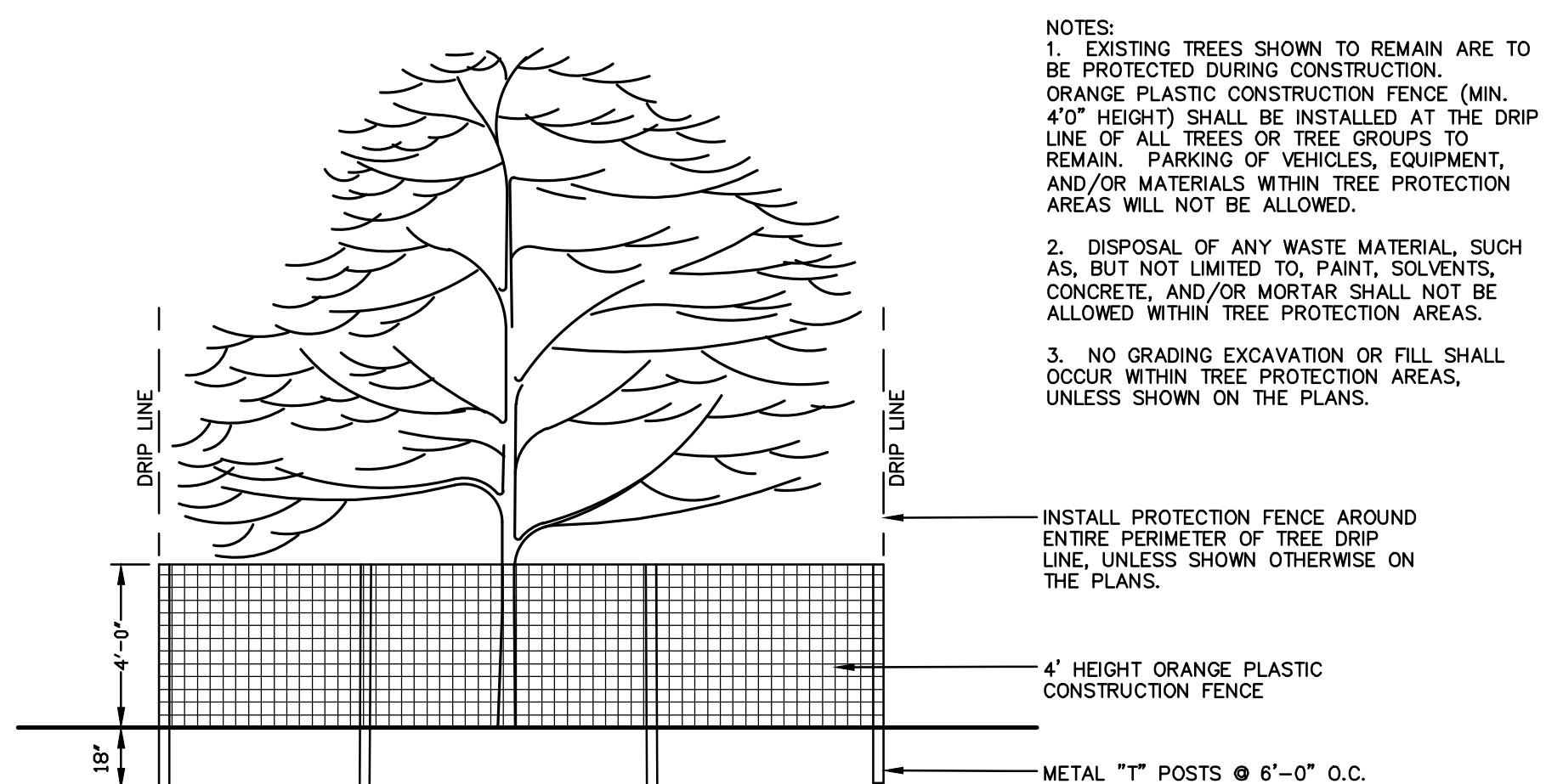
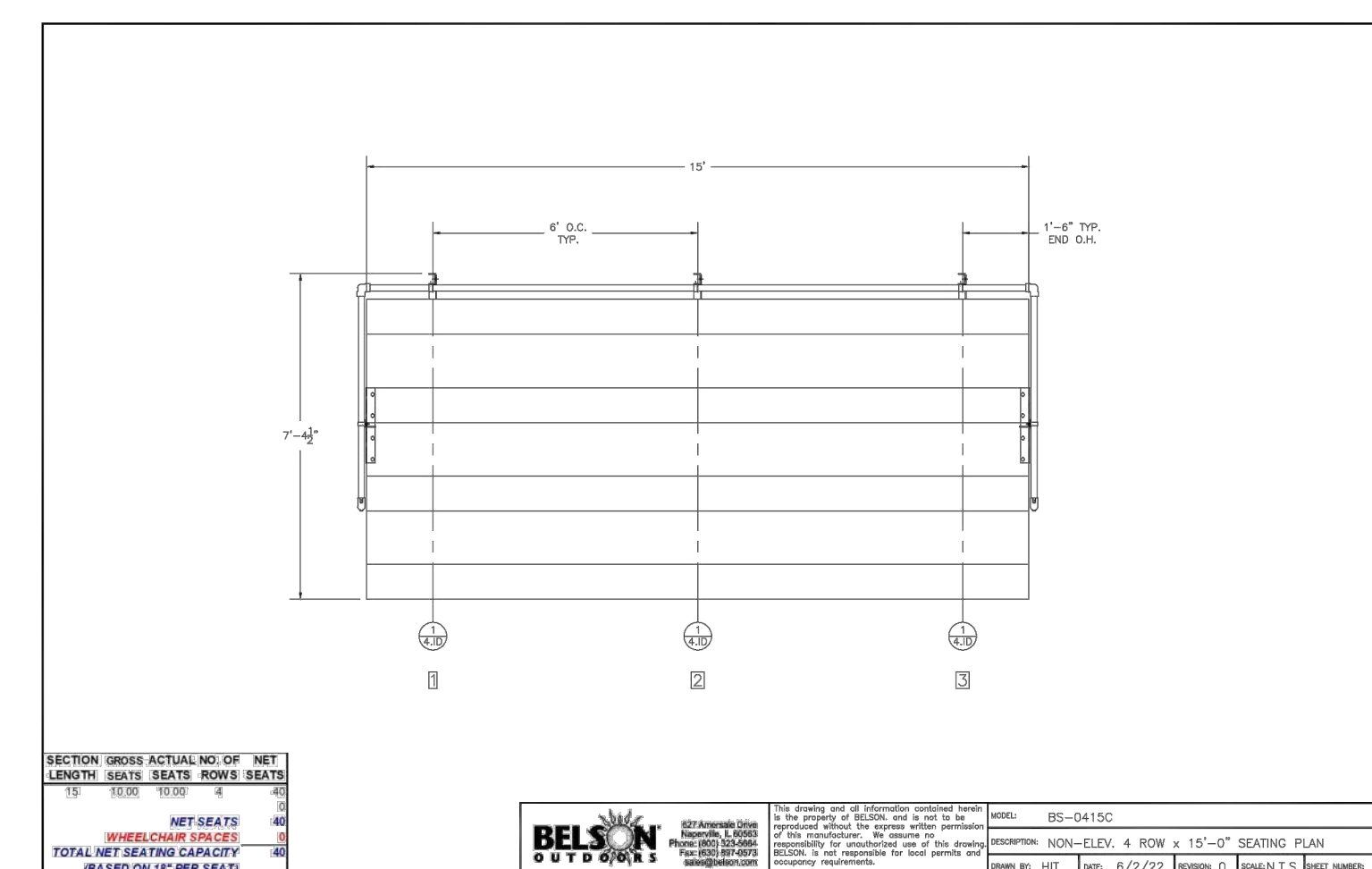
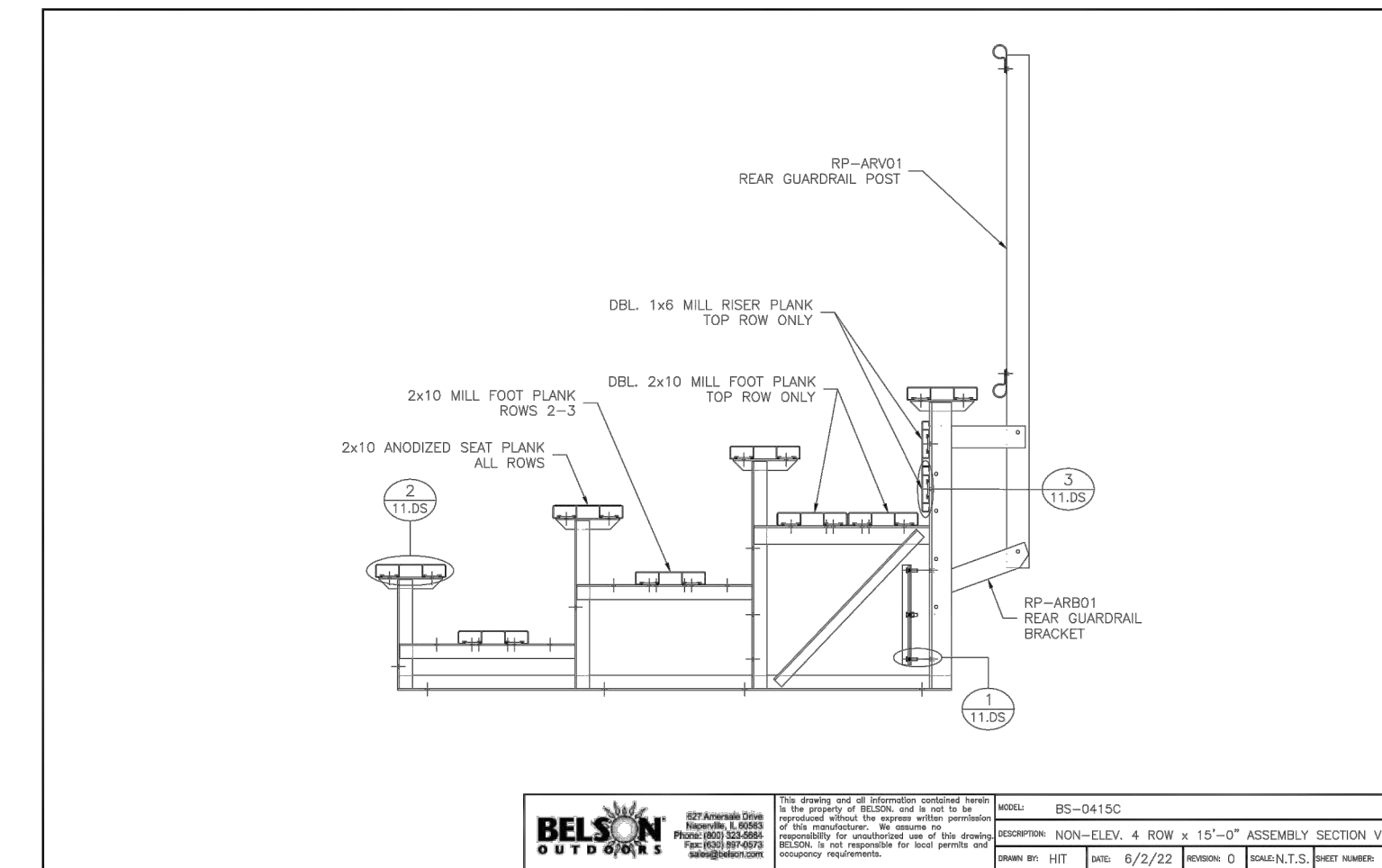
27' BLEACHERS
NOT TO SCALE

NOTE: FOR REFERENCE ONLY. INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS



15' BLEACHERS
NOT TO SCALE

NOTE: FOR REFERENCE ONLY. INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS



TREE PROTECTION FENCE
NOT TO SCALE

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2	ADDENDUM 2	TRR	2/24/2023
1	ADDENDUM 1	TRR	2/16/2023
NO.	REVISION DESCRIPTION:	BY:	DATE:

GENERAL NOTES

- A. DO NOT SCALE DRAWINGS. USE WRITTEN INDICATED DIMENSIONS ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ARCHITECT FOR ADDITIONAL DIMENSION INFORMATION.
- B. SHOULD A CONTRACTOR FIND DISCREPANCIES OR AMBIGUITIES IN OR OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS, OR BE IN DOUBT ABOUT THEIR MEANING, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- C. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB DURING CONSTRUCTION LAYOUT AND ADVISE THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS ON-SITE AND ADVISING ARCHITECT OF ANY DISCREPANCIES WITH DEMOLITION OR NEW WORK PLANS PRIOR TO PERFORMING ANY WORK.
- E. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF ANY UNFORESEEN CONDITIONS INCLUDING STRUCTURAL OR UTILITY RELATED ISSUES ARISE DURING DEMOLITION OR EXCAVATION.
- F. ALL SPECIFIED ITEMS SHALL BE PROVIDED AND INSTALLED PER MANUFACTURERS WRITTEN REQUIREMENTS. SHOULD ANY MANUFACTURER'S REQUIREMENTS CONFLICT WITH DRAWING OR SPECIFICATION INFORMATION, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY.

BUILDING CODE INFORMATION

BUILDING CODE	2015 MICHIGAN BUILDING CODE
ENERGY CODE	2015 MICHIGAN ENERGY CODE (ASHRAE 90.1-2013)
PLUMBING CODE	2018 MICHIGAN PLUMBING CODE
MECHANICAL CODE	2015 MICHIGAN MECHANICAL CODE
ELECTRICAL CODE	2017 NATIONAL ELECTRIC CODE (NEC)
ACCESSIBILITY	MBC CH. 11 (ICC A117.1-2009)

SEE STRUCTURAL DRAWINGS FOR STRUCTURAL DESIGN CRITERIA
SEE SHEET T1.2 FOR ADDITIONAL DESIGN CRITERIA

PROJECT INFORMATION

OCCUPANCY - GENERAL CLASSIFICATION (SEE BELOW FOR OCCUPANCY PER USE GROUP)	A-5	(MBC 302)	ASHRAE 90.1-2013 TABLE 5.5-5 CLIMATE ZONE 5 FOR COMMERCIAL PROJECTS ONLY
CONSTRUCTION TYPE	V-B	(MBC 602)	BUILDING IS SEASONAL USE ONLY NOT APPLICABLE
BUILDING ELEMENT FIRE RESISTANCE		(MBC TABLE 601)	
PRIMARY STRUCTURAL FRAME	0 HR		
BEARING WALLS EXTERIOR	0 HR		
BEARING WALLS INTERIOR	0 HR		
NON BEARING INTERIOR WALLS	0 HR		
FLOOR CONSTRUCTION	0 HR		
ROOF CONSTRUCTION	0 HR		
BUILDING EXTERIOR WALL RATING (DISTANCE BELOW FROM BUILDING TO PROPERTY LINE OR ADJACENT BUILDING)		(MBC TABLE 602)	
X < 5'	1 HR		
5 < X < 10'	1 HR		
10' < X < 30'	0 HR		
X > 30'	0 HR		
ALLOWABLE BUILDING HEIGHT PER B, M OCCUPANCY (MOST RESTRICTIVE)	40'	(MBC 504.3)	
ACTUAL BUILDING HEIGHT	24'		
ALLOWABLE # OF STORIES ABOVE GRADE (MOST RESTRICTIVE)		(MBC 504.4)	
PER M OCC.	1-STORY		
PER B OCC.	2-STORIES		
ACTUAL MAX. STORY ABOVE GRADE			
PER M OCC.	1-STORY		
PER B OCC.	2-STORIES		
ALLOWABLE BUILDING AREA PER B, M OCCUPANCY (MOST RESTRICTIVE); NS, V-B CONST. TYPE	9,000 SF	(MBC 506.2)	
ACTUAL BUILDING AREA			
FIRST FLOOR	342 SF		
SECOND FLOOR	342 SF		
TOTAL	684 SF		
ALLOWABLE ACCESSORY USE (10% MAX PER FLOOR)		(MBC 508.2.3)	
FIRST FLOOR	34.2 SF		
SECOND FLOOR	34.2 SF		
ACTUAL ACCESSORY USE AREA			
FIRST FLOOR	S2 25 SF		
SECOND FLOOR	0 SF		
OCCUPANCY SEPARATIONS		(MBC TABLE 508.2.4)	
B OCCUPANCY TO M, S2	NOT REQUIRED		
M OCCUPANCY TO B, S2	NOT REQUIRED		
S2 OCCUPANCY TO M, B	NOT REQUIRED AS ACCESSORY USE		
BUILDING SPRINKLERED	NO	(MBC 903)	
OCCUPANT LOAD PER USE GROUP		(MBC 1004.1.2)	
PRESS BOX	BUSINESS	4	
CONCESSIONS	MERCANTILE	6	
TOTAL OCCUPANT LOAD		10	
MIN. NUMBER OF EXITS REQUIRED	1	(MBC 1006.3.2)	

THERMAL

ASHRAE 90.1-2013 TABLE 5.5-5
CLIMATE ZONE 5
FOR COMMERCIAL PROJECTS ONLY

BUILDING IS SEASONAL USE ONLY
NOT APPLICABLE

PROJECT TEAM



ARCHITECTURAL / STRUCTURAL / INTERIOR DESIGN
ABONMARCHÉ CONSULTANTS, INC.
315 W Jefferson Blvd
South Bend, IN 46601

CERTIFIED ARCHITECT:
ARVIN DELACRUZ
adelacruz@abonmarche.com
574-360-5335

PROJECT MANAGER:
SCOTT KUCHTA
skuchta@abonmarche.com
574-366-3104



DICKINSON PARK
IMPROVEMENTS

PRESSBOX, CONCESSION STAND
[ALTERNATE 1]

PROJECT ADDRESS

2499 STADIUM DRIVE, ST. JOSEPH, MI
49085

PERSPECTIVE VIEW



LOCATION MAP

GENERAL PROJECT LOCATION ONLY.
REFERENCE CIVIL/LANDSCAPING SITE DRAWINGS FOR SPECIFIC BUILDING LOCATIONS WITHIN THE SITE.



NOT TO SCALE



NOT TO SCALE

SHEET INDEX

TITLE SHEETS

- T1.1 TITLE SHEET
- T1.2 REFERENCE SHEET & LIFE SAFETY PLAN

STRUCTURAL DRAWINGS

- S0.1 STRUCTURAL SPECIFICATIONS
- S1.0 FIRST & SECOND FLOOR - FRAMING & FOUNDATION PLANS
- S2.1 STRUCTURAL DETAILS

ARCHITECTURAL DRAWINGS

- A1.1 FIRST & SECOND FLOOR - CONSTRUCTION PLANS
- A3.1 WALL SECTIONS & DETAILS
- A3.3 ENLARGED STAIR PLAN AND ELEVATIONS
- A4.1 EXTERIOR ELEVATIONS
- A5.1 BUILDING SECTIONS
- A7.2 SECTION DETAILS
- A8.1 SCHEDULES AND OPENING ELEVATIONS

PLUMBING DRAWINGS

- P1.1 PLUMBING PLAN

ELECTRICAL DRAWINGS

- E1-1 ELECTRICAL POWER & LIGHTING PLANS
- E1.2 ELECTRICAL POWER

TECHNICAL SPECIFICATIONS

- 03 30 00 CAST-IN-PLACE CONCRETE
- 04 22 00 CONCRETE UNIT MASONRY
- 07 41 13.16 STANDING-SEAM METAL ROOF PANELS
- 07 42 93 SOFFIT PANELS
- 07 72 53 SNOW GUARDS
- 09 91 13 EXTERIOR PAINTING



315 W JEFFERSON BLVD
SOUTH BEND, IN 46601
T 574.360.8700
F 574.251.4440
abonmarche.com

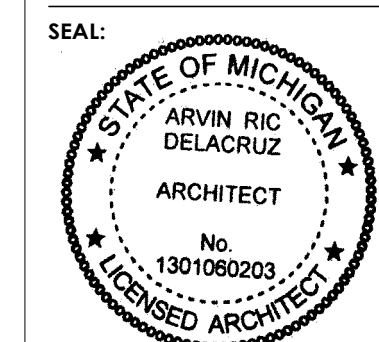
Benton Harbor
Coshen
Lafayette
Kalamazoo/Portage
Fort Wayne
Valparaiso

Engineering, Architecture, Land Surveying

PROJECT: **DICKINSON PARK
IMPROVEMENTS
CITY OF ST. JOSEPH
2499 STADIUM DRIVE, ST.
JOSEPH, MI 49085**

TITLE SHEET

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DESIGNED BY: ARD
PM REVIEW: SNK
QA/QC REVIEW: SNK
DATE: 02/03/2023



SIGNATURE:
DATE: 02/03/2023

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21-1558

SHEET NO.
T1.1

2	Addendum 2	JLF	02/24/2023
NO.	REVISION DESCRIPTION	BY	DATE

PLAN ABBREVIATIONS

A.C. AIR CONDITIONING	FIN. FINISH	PLY. PLYWOOD
ADJ. ADJACENT	F.D. FLOOR DRAIN	P.L. PROPERTY LINE
A.F.F. ABOVE FIN. FLOOR	FT. FOOTING	P.NL. PANEL
AL. ALUMINUM	FTG. FOUNDATION	PF. PAIR
APPROX. APPROXIMATE	FDN. FOUNDATION	P.S.F. POUNDS PER S.F.
ARCH. ARCHITECT	FURN. FURNACE	P.S.I. POUNDS PER S.I.
& AND	GALV. GALVANIZED	P.T. PRESURE TREATED
B.M. BEAM	GA. GAUGE	P.V.C. POLYVINYL CHLORIDE
B.M. BENCH MARK	G.C. GENERAL CONTRACTOR	P.V.M.T. PAVEMENT
BRG. BEARING	GL. GLASS	Q.J. QUARRY TILE
BTUM. BITUMINOUS	GR. GRADE	RAD. RADIUS
BLKG. BLOCKING	GYP. GYPSUM	R.A. RETURN AIR
BD. BOARD	H.C. HOLLOW CORE	R. & G. ROD & GROUT
BOT. BOTTOM	HDWE. HARDWARE	R.D. ROOF DRAIN
B.O.F. BOTTOM OF FOOTING	H.M. HOLLOW METAL	REINF. REINFORCING
BLDG. BUILDING	HORIZ. HORIZONTAL	REQD. REQUIRED
C/C. CENTER TO CENTER	H.P. HIGH POINT	R.H. RIGHT HAND
C.B. CATCH BASIN	HVAC HEATING/VENTING/AIR COND.	RM. ROOM
C.E. CEMENT	HT., H. HEIGHT/HIGH	R.O. ROUGH OPENING
CER. CERAMIC	HW. HARDWOOD	RND. ROUND
C.I. CAST IRON	I.D. INSIDE DIAMETER	S.A. SUPPLY AIR
C.I.P. CAST IN PLACE	INSUL. INSULATION	S.C. SOLID CORE
CONTR. CONTROL JOINT	INT. INTERIOR	SCHED. SCHEDULE
CLG. CEILING	INV. INVERT	SEC. SECTION
CL. CENTERLINE	LAM. LAMINATED	S.F. SQUARE FOOT
CLO. CLOSET	L.H. LEFT HAND	SHIT., SH. SHEET
C.M.U. CONCRETE MASONRY UNIT	LN. LINEAR	S.I. SQUARE INCH
C.O. CLEAN OUT	L.L. LIVE LOAD	SIM. SIMILAR
COL. COLUMN	L.P. LOW POINT	SPEC. SPECIFICATIONS
CONTR. CONTRACTOR	M.S. MASONRY	SQ. SQUARE
CONC. CONCRETE	MAT. MATERIAL	STOR. STORAGE
CONN. CONNECTION	MAX. MAXIMUM	STL. STEEL
CONT. CONTINUOUS	MET. METAL	STRUC. STRUCTURAL
CPT. CARPET	M.T. MARBLE THRESHOLD	SUSP. SUSPENDED
C.S. CARPET STRIP	MTD. MOUNTED	T & B TOP & BOTTOM
C.T. CERAMIC TILE	MECH. MECHANICAL	TEL. TELEPHONE
D.L. DEAD LOAD	MFR. MANUFACTURER	TEG. TEMPERED GLASS
D. DEPTH	M.H. MANHOLE	T & G TONGUE & GROOVE
DET. DETAIL	MIN. MINIMUM	THK. THICKNESS
DIA. DIAMETER	MISC. MISCELLANEOUS	T.O. TOP OF
DN. DOWN	M.O. MASONRY OPENING	T.O.C. TOP OF CONCRETE
DN. DOWN	MR. MIRROR	T.O.F. TOP OF FOOTING
DWG. DRAWING	N.I.C. NOT IN CONTRACT	T.O.S. TOP OF STEEL
EA. EACH	NO., # NUMBER	T.O.W. TOP OF WALL
ELEC. ELECTRIC(AL)	NOM. NOMINAL	TPP. TYPICAL
ELEV. ELEVATION	N.T.S. NOT TO SCALE	U.N.O. UNLESS NOTED OTHERWISE
E.W. EACH WAY	# NUMBER/POUND	VERT. VERTICAL
E.Q. EQUAL	O.A. OVERALL	VCT. VINYL COMPOSITION TILE
EXP. EXPANSION	O.C. ON CENTER	WVC. VINYL WALL COVERING
E.J. EXPANSION JOINT	O.D. OUTSIDE DIAMETER	W.C. WATER CLOSET
EXIST. EXISTING	O.H. OVERHEAD	WCT. WAINSCOT
EXT. EXTERIOR	OPNG. OPENING	WH. WATER HEATER
EQUIP. EQUIPMENT	OPP. HD. OPPOSITE HAND	WD. WOOD
F.O.B. FACE OF BRICK	PTN. PARTITION	WWF. WELDED WIRE FABRIC
F.O.C. FACE OF CONCRETE	P.C. PRECAST	W/ WITH
F.O.M. FACE OF MASONRY	PLAM. PLASTIC LAMINATE	W/O WITHOUT
F.O.S. FACE OF STUD	PLAS. PLASTER	XFMR. TRANSFORMER

KEYNOTES - ALL

Division #	Keynote #	Keynote Long
033000	3.2	CAST-IN-PLACE CONCRETE SLAB-ON-GRADE, FIN. FLR., 4" THICK; W.W.F. REINFORCED - SEE STRUCTURAL; CONTIN. MOISTURE BARRIER, BENEATH; CURING-SEALANT TOP COATING
033000	3.5	CAST-IN-PLACE CONCRETE FOOTINGS; SEE STRUCTURAL
040000	4.1	8x8x16 CMU BLOCK, FOUNDATION WALLS: SMOOTH FACE (INT./EXT.); NATURAL/NO PAINT (INT./EXT.); FULLY-GROUTED CELLS BLW. GRADE, TYP.; NO DAMPPROOFINGS
040000	4.2	8x8x16 CMU BLOCK: SMOOTH FACE (INT./EXT.); PAINTED BLUE [SEE PAINT SCHEDULE] (EXT.); NATURAL/NO PAINT (INT.)
040000	4.3	8x8x16 CMU BLOCK: SINGLE FULL-BLOCK HEIGHT ROW: SMOOTH FACE (INT./EXT.); PAINTED YELLOW [SEE PAINT SCHEDULE] (EXT.); NATURAL (NO PAINT), INT.
040000	4.4	8x8x16 CMU BLOCK: SPLIT FACE (EXT.), SMOOTH FACE (INT.); NATURAL/NO PAINT (INT./EXT.)
040000	4.5	REINFORCED LINTEL CMU BOND BEAM: SMOOTH FACE (INT./EXT.); NATURAL/NO PAINT (INT./EXT.); EXT. FACE TO MIMIC STD. 8x8x16 MODULAR COURSING; SEE STRUCTURAL
040000	4.7	4x8x16 CMU HALF-BLOCK: SMOOTH FACE (INT./EXT.); PAINTED BLUE [SEE PAINT SCHEDULE] (EXT.); NATURAL/NO PAINT (INT.)
040000	4.8	8x8x16 CMU SILL BLOCK: SPLIT FACE (EXT.), SMOOTH FACE (INT.); NATURAL/NO PAINT (INT./EXT.)
040000	5.0	REINFORCED LINTEL CMU BOND BEAM: SMOOTH FACE (INT./EXT.); PAINTED YELLOW [SEE PAINT SCHEDULE] (EXT.); EXT. FACE TO MIMIC STD. 8x16 MODULAR COURSING; NATURAL/NO PAINT (INT.); SEE STRUCTURAL
040000	5.1	8x8x16 REINFORCED, CMU BOND BEAM BLOCK: SMOOTH FACE (INT./EXT.); PAINTED BLUE [SEE PAINT SCHEDULE] (EXT.); NATURAL/NO PAINT (INT.); SEE STRUCTURAL
040000	5.2	8x8x16 REINFORCED, CMU BOND BEAM BLOCK: SPLIT FACE (INT./EXT.); NATURAL/NO PAINT (INT.); SEE STRUCTURAL
061002	6.2	WOOD SHEATHING, SUBFLOOR/FIN. FLOOR: 3/4" T&G PLYWOOD; SEE STRUCTURAL
061002	6.3	WOOD SHEATHING; ROOF 5/8" PLYWOOD; SEE STRUCTURAL
061001	6.5	P.T. WOOD SILL PLATE: 2X4
061001	6.6	WOOD DOUBLE TOP PLATE: 2X4
061001	6.7	2X10 WOOD JOISTS; SEE STRUCTURAL, FRAMING PLAN
061001	6.9	2X4 WOOD STUD WALL; SEE WALL TYPES, STRUCTURAL
061001	6.10	P.T. WOOD TOP PLATE(S): 2X4
061001	6.11	2X8 WOOD JOISTS; SEE STRUCTURAL, FRAMING PLAN
061002	6.12	WOOD SHEATHING, WALL: 1/2" O.S.B.
061002	6.13	SEE STRUCTURAL FOR TOP PLATE ANCHORING INFO
061001	6.14	P.T. WOOD LEDGER BOARD W/ STL. JOIST HANGERS - SEE STRUCTURAL
061001	6.15	CONTINUOUS WOOD RIM JOIST: 2X10; SEE STRUCTURAL
061001	6.16	CONTINUOUS WOOD BLOCKING: 2X4
072500	7.3	CONTINUOUS METAL ROOF PANEL UNDERLAYMENT: SELF-ADHERING; HIGH-TEMPERATURE RATED
074113	7.10	STANDING SEAM METAL ROOF, W/ RAIL-TYPE SNOW GUARDS: ALUM./ZINC-ALLOY COATED STL.; FLAT PAN BTW. RIBS; PAINTED BLUE [SEE PAINT SCHEDULE]
077100	7.13	ROOF DRIP EDGE: ALUM./ZINC ALLOY-COATED STL. (TO MATCH METAL ROOF COMPONENTS); PAINTED BLUE [SEE PAINT SCHEDULE]
077200	7.14	GUTTER AND DOWNSPOUT: ALUM./ZINC ALLOY-COATED STL. (TO MATCH METAL ROOF COMPONENTS); PAINTED BLUE [SEE PAINT SCHEDULE]; PROVIDE ELBOW AT BTM./ DOWNSPOUT
074100	7.17	SOFFIT: REVEAL-JOINT PROFILE; ALUM./ZINC ALLOY-COATED STL. (TO MATCH METAL ROOF COMPONENTS); PAINTED BLUE [SEE PAINT SCHEDULE]
077200	7.18	DOWNSPOUT: ALUM./ZINC ALLOY-COATED STL. (TO MATCH METAL ROOF COMPONENTS); PAINTED BLUE [SEE PAINT SCHEDULE]
081113	8.1	HOLLOW METAL DOOR: HEAVY-DUTY; SEE DOOR SCHEDULE
092900	9.6	TYPE X 5/8" GYP BOARD (2 LAYERS)
101400	10.9	EXTERIOR SIGNAGE, BY OTHERS; SAINT JOSEPH HIGH SCHOOL LOGO; FOR INFORMATIONAL PURPOSES ONLY -- NOT PART OF THE WORK
101400	10.11	EXTERIOR SIGNAGE, BY OTHERS; DONOR/FACILITY NAME; FOR INFORMATIONAL PURPOSES ONLY -- NOT PART OF THE WORK
224216	22.1	WALL MOUNTED LAVATORY; MOUNT AT ADA-ACCESSIBLE HEIGHTS/CLEARANCES
033000	33.1	COMPACTED AGGREGATE BASE: MIN. 4 INCHES; SEE STRUCTURAL
033000	33.2	COMPACTED FILL; SEE STRUCTURAL
033000	33.3	UNDISTURBED EARTH BENEATH FOOTING; SEE STRUCTURAL

GENERAL NOTES - LIFE SAFETY

PER IBC 2012 TABLE 1016.2 EXIT TRAVEL DISTANCE DOES NOT EXCEED 200'-0"

STORAGE ROOM 102 IS AN ENCLOSED USABLE SPACE & THEREFORE REQUIRES A MIN. 1-HR RATED CONSTRUCTION (1011.7.3)

MIN. EGRESS STAIR WIDTH OCCUPANT LOAD < 50 36" (MBC 1011.2)

ACTUAL EGRESS STAIR WIDTH 36"

MIN. EGRESS DOOR CLEAR OPENING WIDTH 32" (MBC 1010)

ACTUAL EGRESS DOOR CLEAR OPENING WIDTH >32" <36"

REQUIRED EXIT WIDTH @ STAIRS BY OCC. LOAD (OCC. LOAD X 0.3 = 0.00') STAIR EGRESS 1.20' (MBC 1005.3.1)

REQUIRED EXIT WIDTH BY OCC. LOAD (OCC. LOAD X 0.2' = 0.00) EGRESS 2.00' (MBC 1005.3.2)

MAX. ALLOWABLE EXIT TRAVEL DISTANCE (NOT SPRINKLED) 200' (MBC 1017.2)

ACTUAL MAX. TRAVEL DISTANCE 47'-1"

MAX. ALLOWABLE COMMON PATH OF EGRESS DISTANCE B OCCUPANCY 75' M OCCUPANCY 75'

ACTUAL MAX. COMMON PATH OF EGRESS NEGLIGIBLE

MAX. ALLOWABLE OCC. LOAD W/1 EXIT B OCCUPANCY 29 (@ 2ND STORY) M OCCUPANCY 49 (IBC 1006.2.1)

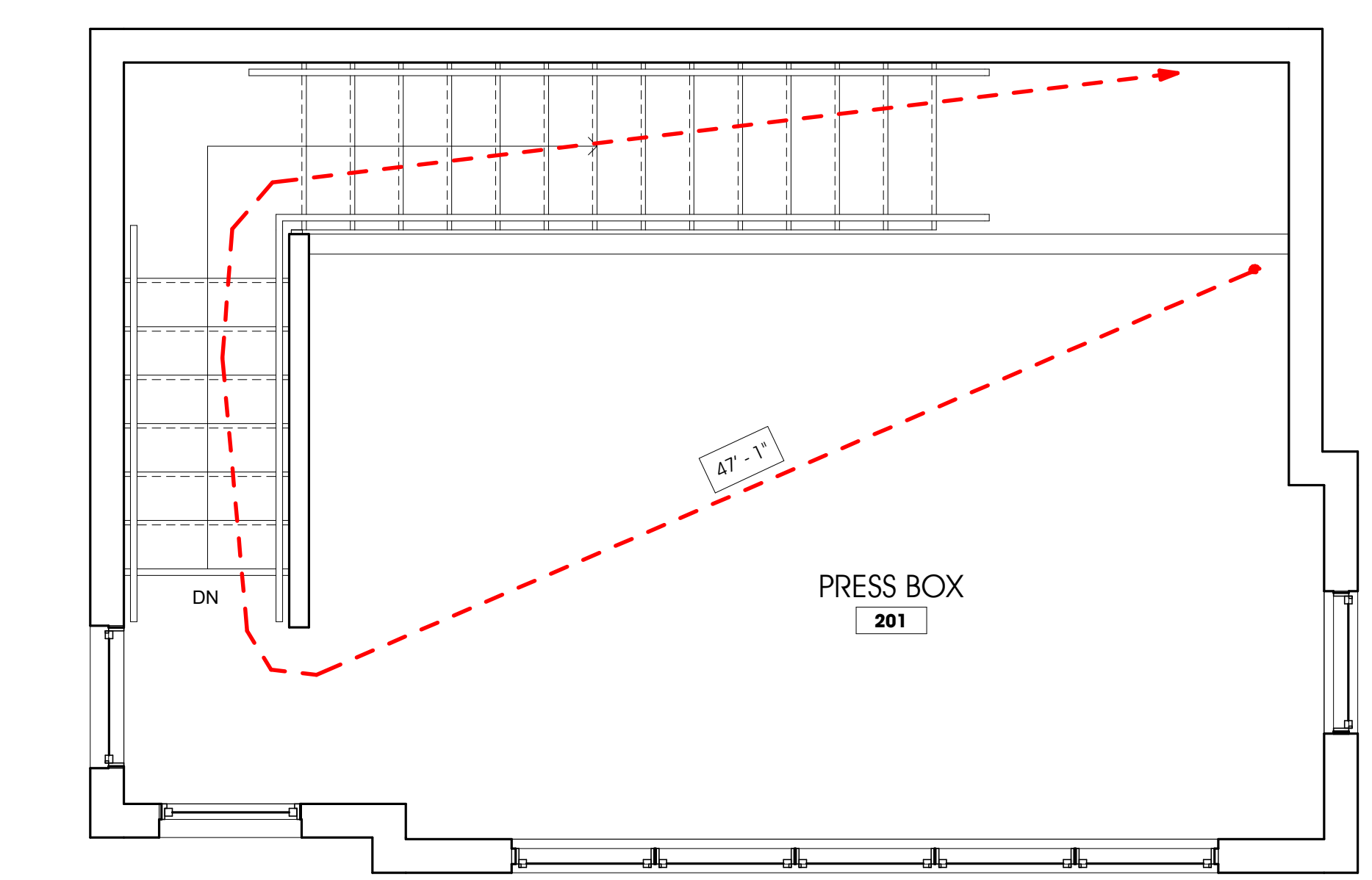
ACTUAL OCCUPANT LOAD 10 TOTAL ALL USES

OCCUPANCY LOAD PER USE GROUPS

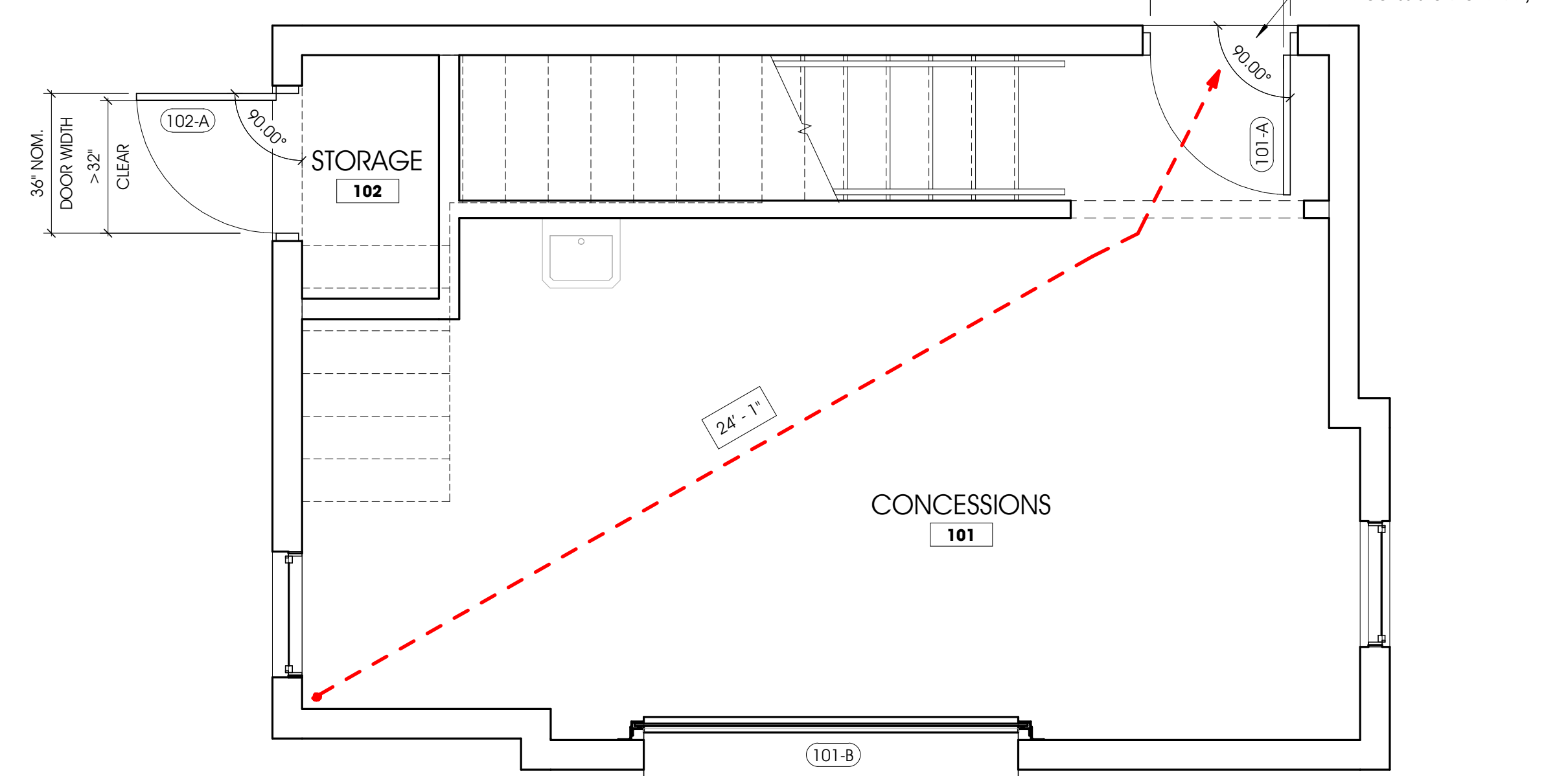
GROUND FLOOR		
S2 - STORAGE (ACCESSORY USE)		
M - MERCANTILE	342 SF/60 GROSS	= 5.7
TOTAL		5.7 (6)
SECOND FLOOR		
B - BUSINESS	342 SF/100 GROSS	= 3.42
TOTAL		3.42 (4)
GROUND FLOOR		5.7
SECOND FLOOR		3.42
TOTAL		9.12 (10)

MATERIAL LEGEND

UNDISTURBED EARTH (EXISTING)		CMU BLOCK SECTION	
EARTH BACKFILL (NEW)		CMU	
COMPACTED FILL		SPLIT FACED CMU	
GRANULAR FILL		GYPSUM BOARD	
CONCRETE		WOOD	
STEEL SECTION			
ALUMINUM SECTION			



2 SECOND FLOOR - LIFE SAFETY PLAN
11.2 3/8" = 1'-0"



1 FIRST FLOOR - LIFE SAFETY PLAN
11.2 3/8" = 1'-0"

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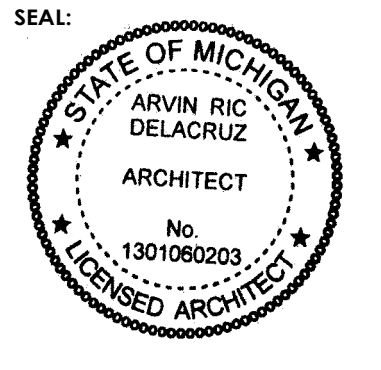
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DICKINSON PARK IMPROVEMENTS
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REFERENCE SHEET & LIFE SAFETY PLAN

MODELED BY: JPA
DESIGNED BY: ARD
PM REVIEW: SNK
QA/QC REVIEW: SNK
DATE: 02/03/2023



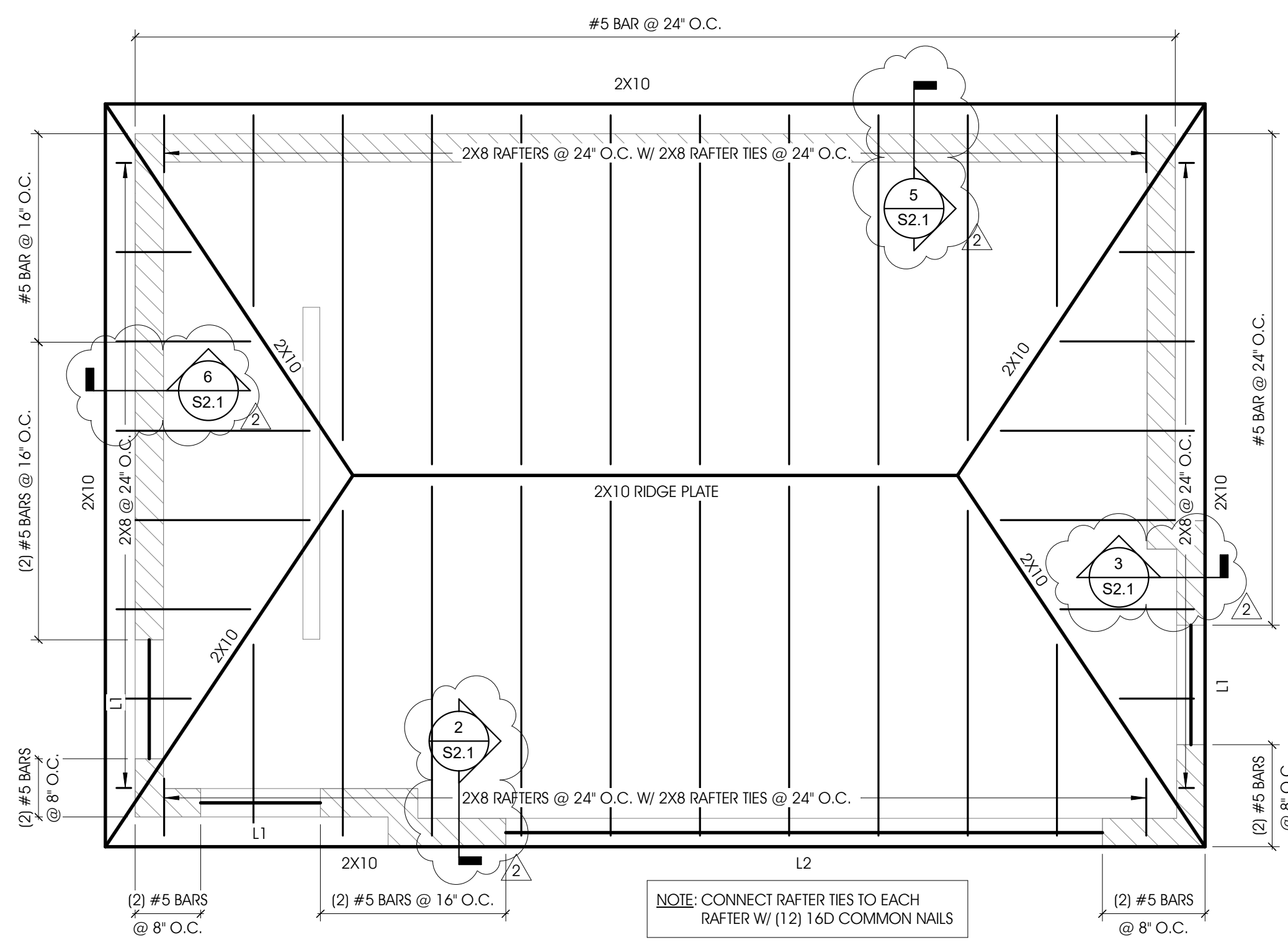
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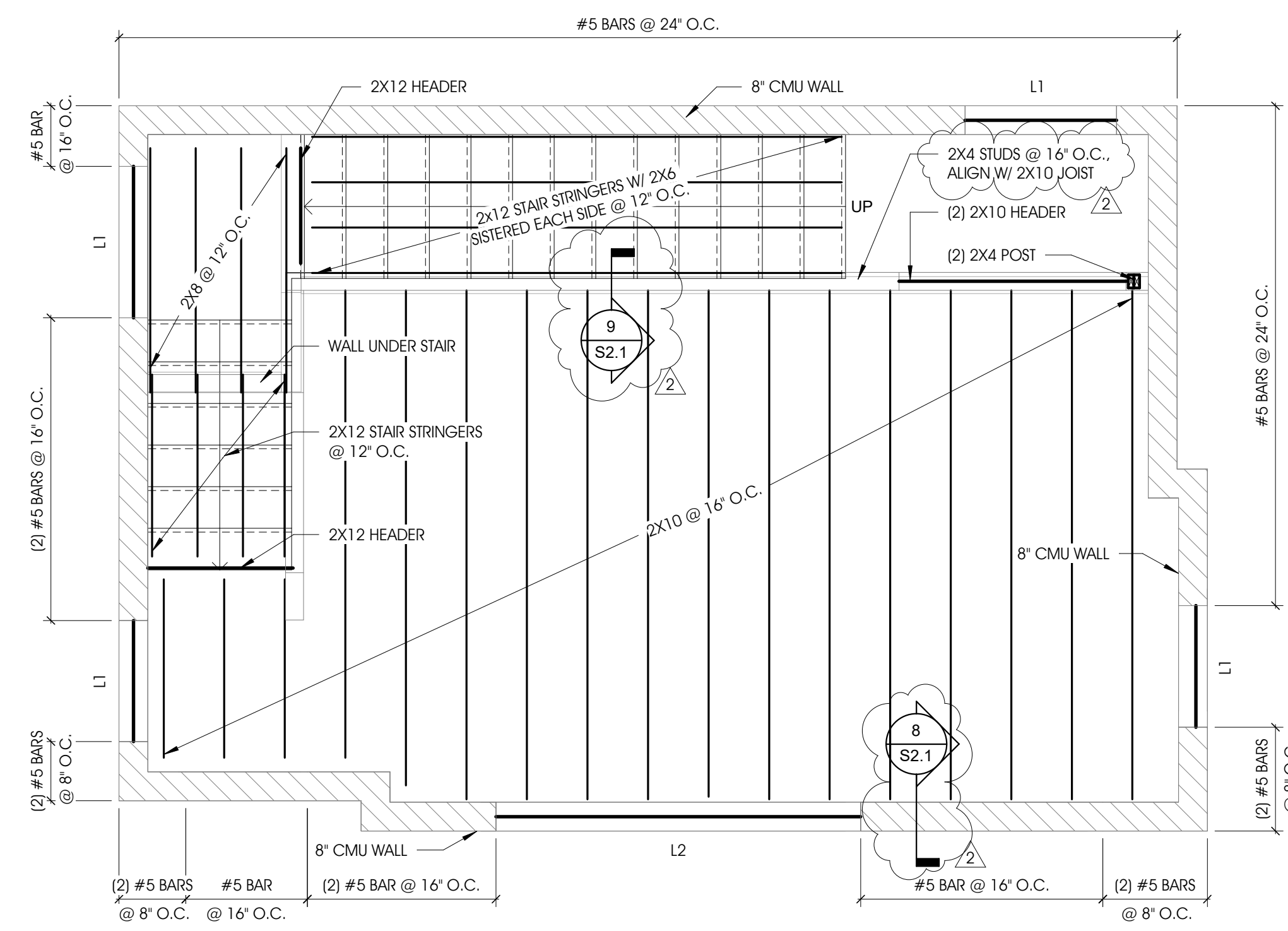
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2	Addendum 2	JLF	02/24/2023
NO.	REVISION DESCRIPTION	BY	DATE

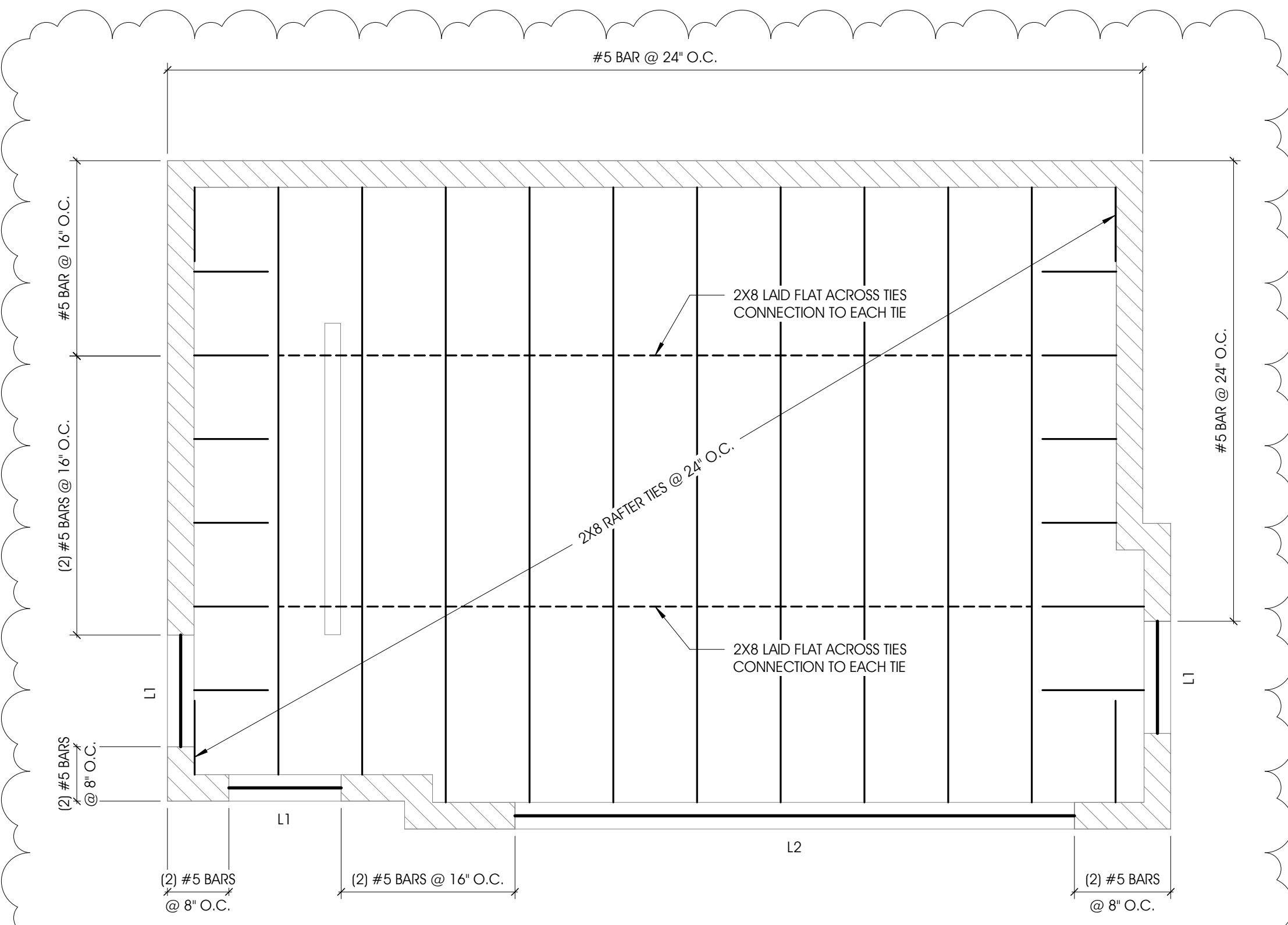
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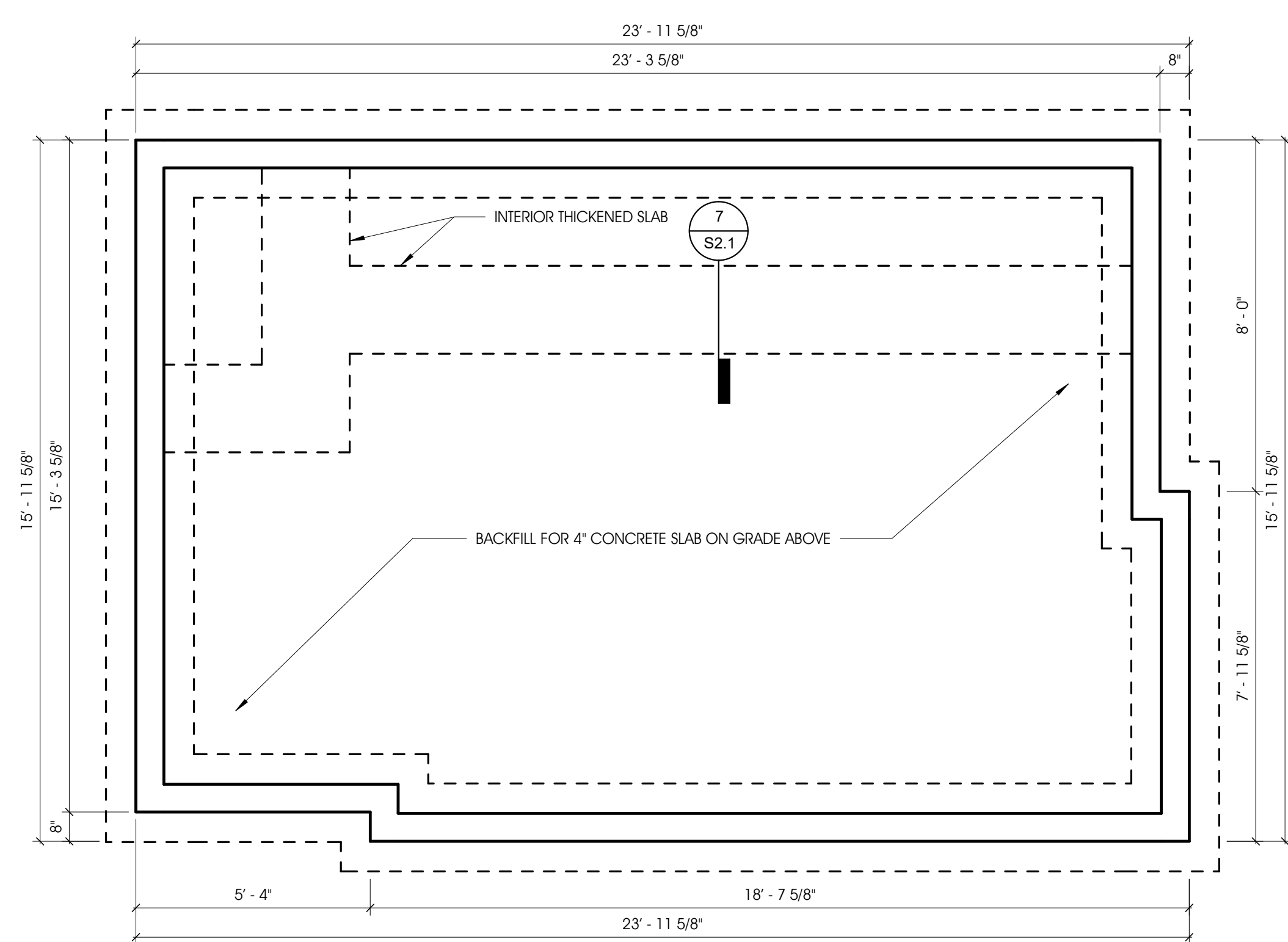
4 ROOF PLAN
S1.0 3/8" = 1'-0"



2 SECOND FLOOR - FRAMING PLAN
S1.0 3/8" = 1'-0"



3 CEILING PLAN
S1.0 3/8" = 1'-0"

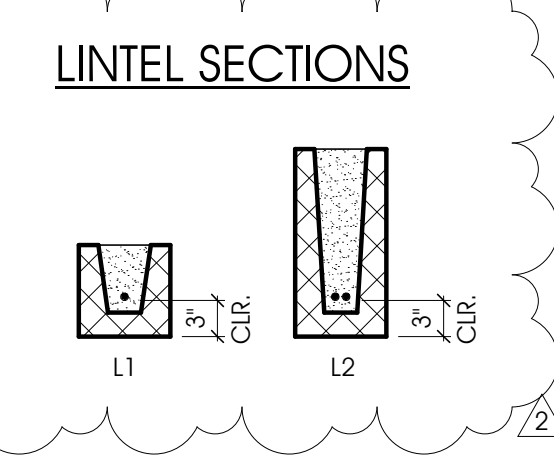


1 S1.0 - FOUNDATION PLAN
S1.0 3/8" = 1'-0"

GENERAL NOTES

- A. FASTEN ALL CONNECTIONS ACCORDING TO TABLE 2304.10.1 OF THE 2015 IBC UNLESS NOTED OTHERWISE ON THE PLANS AND DETAILS
- B. FLOOR AND ROOF SHEATHING TO BE INSTALLED PER THE SPECIFICATIONS OF THE GENERAL STRUCTURAL NOTES ON SHEET S0.1
- C. CONNECT FLOOR JOISTS TO MASONRY WALL W/ SIMPSON STRONG-TIE HU28 HANGERS PER MANUFACTURER'S SPECIFICATIONS.
- D. ALL CMU WALLS TO BE REINFORCED W/ #5 VERTICAL BARS @ 24" O.C. CENTERED IN WALL (U.N.O.) (MIN. LAP=24").
- E. LINTELS SHALL BE 8" BOND BEAM W/ (1) #5 HORIZONTAL BAR UNLESS NOTED OTHERWISE.
- F. WHERE (2) #5 BARS ARE SPECIFIED IN CMU, PROVIDE ONE BAR AT EACH FACE W/ 2" CLEAR COVER AND MINIMUM LAP = 36"
- G. PROVIDE 2X BLOCKING BETWEEN ALL RAFTER BEARING LOCATIONS ON EXTERIOR WALLS. FASTEN BLOCKING TO TOP OF WALL FRAMING WITH 16D SINKER NAILS AT 4" O.C. (TOE NAILED) AND TO EACH RAFTER WITH (2)-16D SINKER NAILS EACH SIDE OF RAFTER BLOCKING TO BE SOLID AND CONTINUOUS AND EXTEND UP TO UNDERSIDE OF ROOF SHEATHING.
- H. PROVIDE SIMPSON STRONG-TIE H3 HURRICANE TIES AT EACH RAFTER BEARING. NAIL EACH RAFTER TO SILL PLATE PER TABLE 2304.10.1 OF THE 2015 IBC IN ADDITION TO THE H3 TIE INSTALLATION.

LINTEL SCHEDULE		
LINTEL MARK	LINTEL DEPTH (NOMINAL)	REINFORCING (BOTTOM)
L1	8" BOND BEAM	(1) #5 BAR
L2	16" BOND BEAM	(2) #5 BAR



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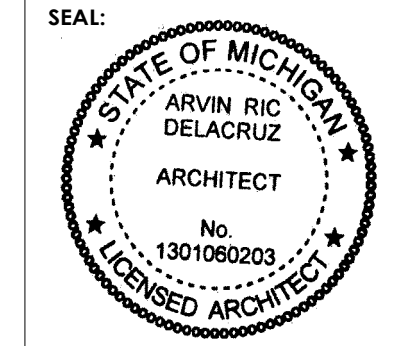
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FIRST & SECOND FLOOR - FRAMING & FOUNDATION PLANS

SHEET TITLE:
 MODELED BY: KRV
 DESIGNED BY: APH
 PM REVIEW: SNK
 QA/QC REVIEW: SFL
 DATE: 02/03/2023



SIGNATURE:
 DATE: 02/03/2023

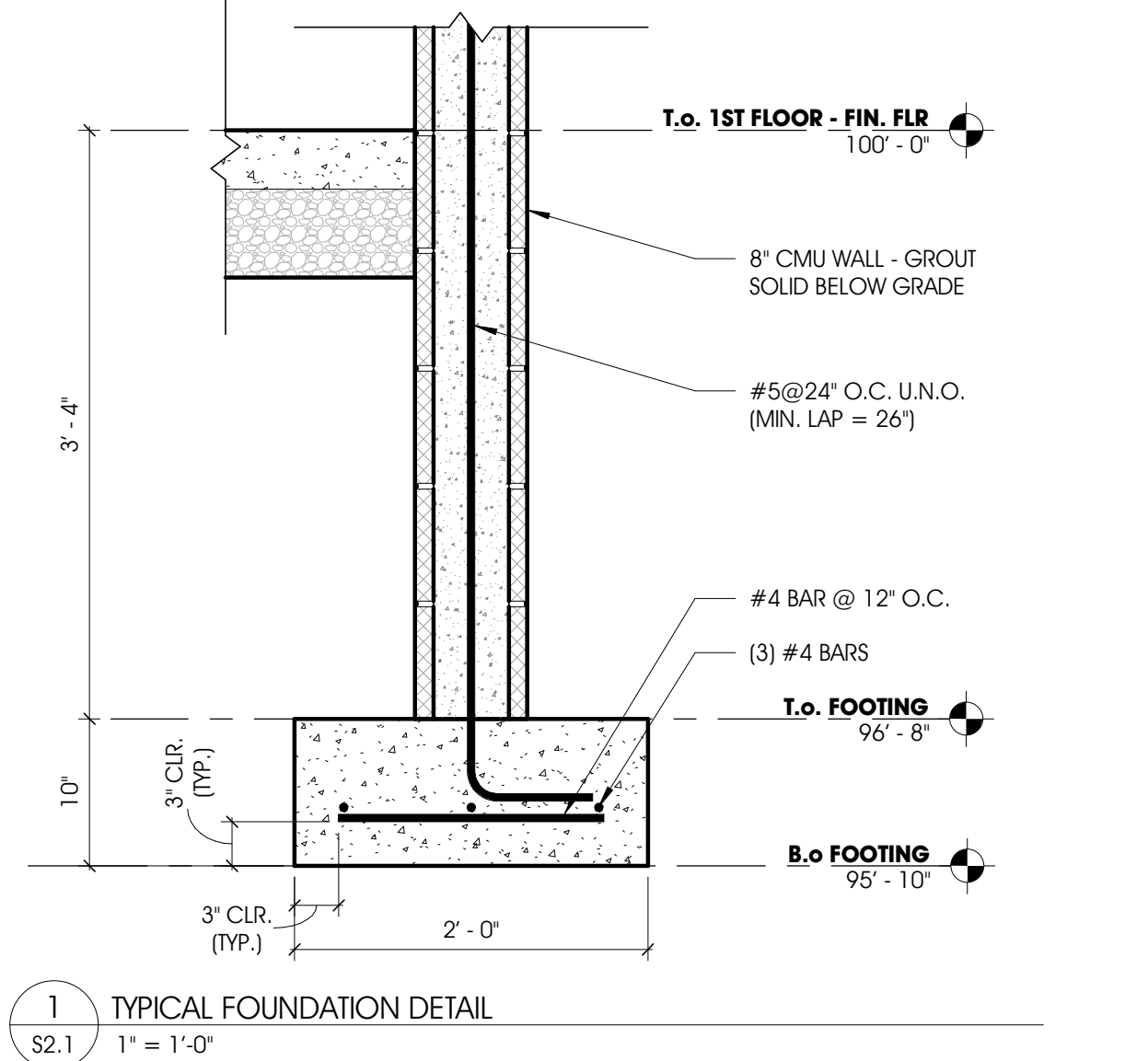
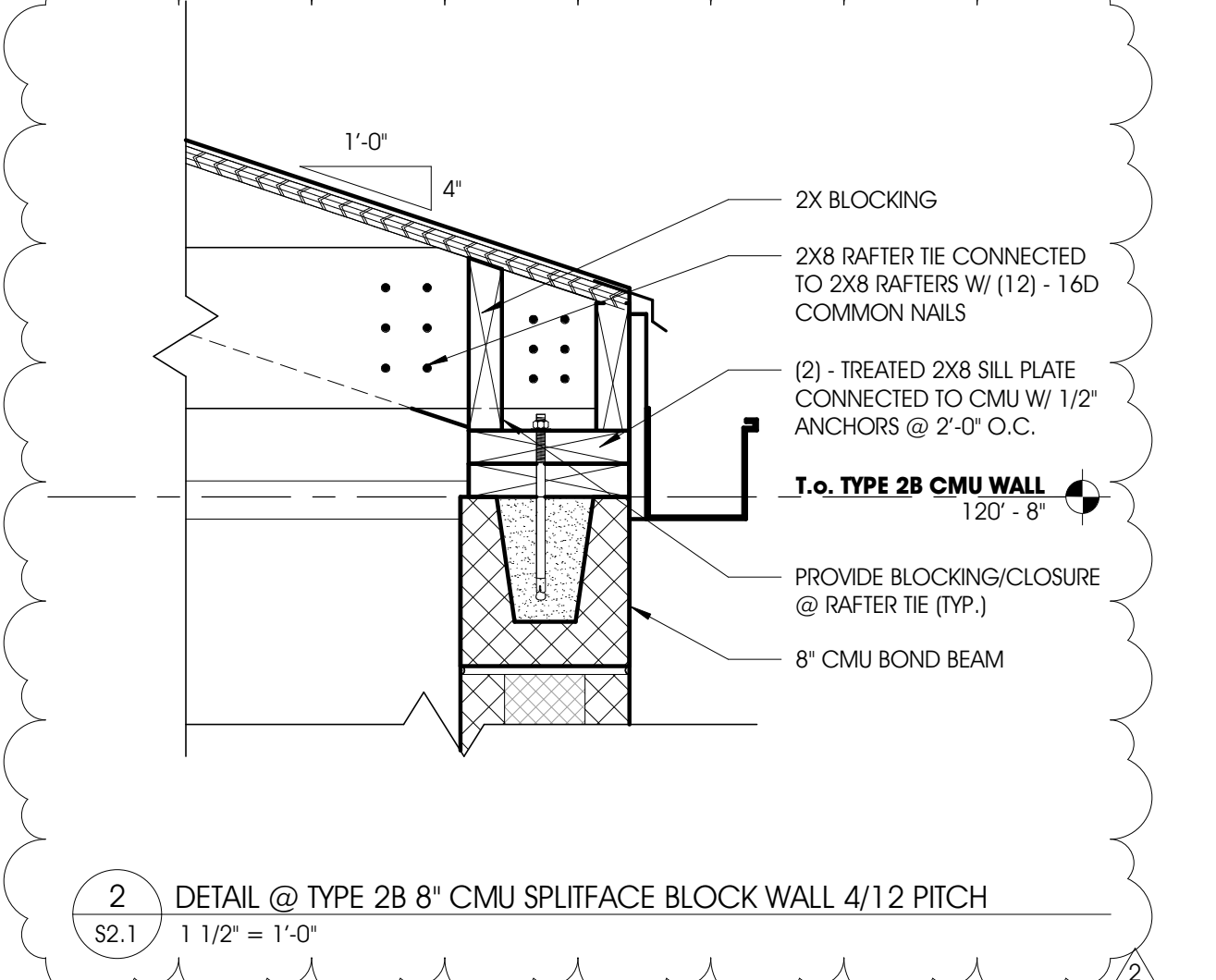
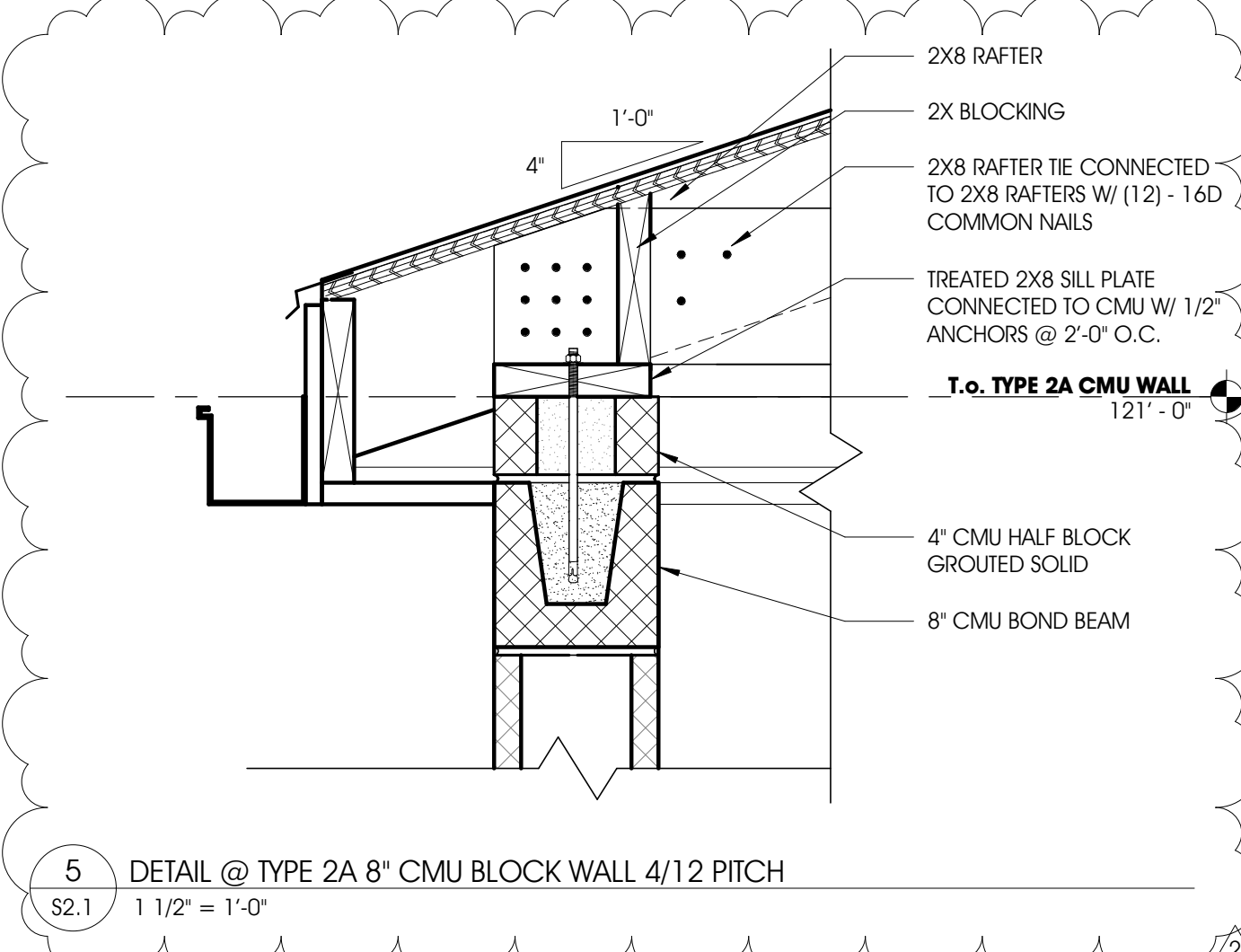
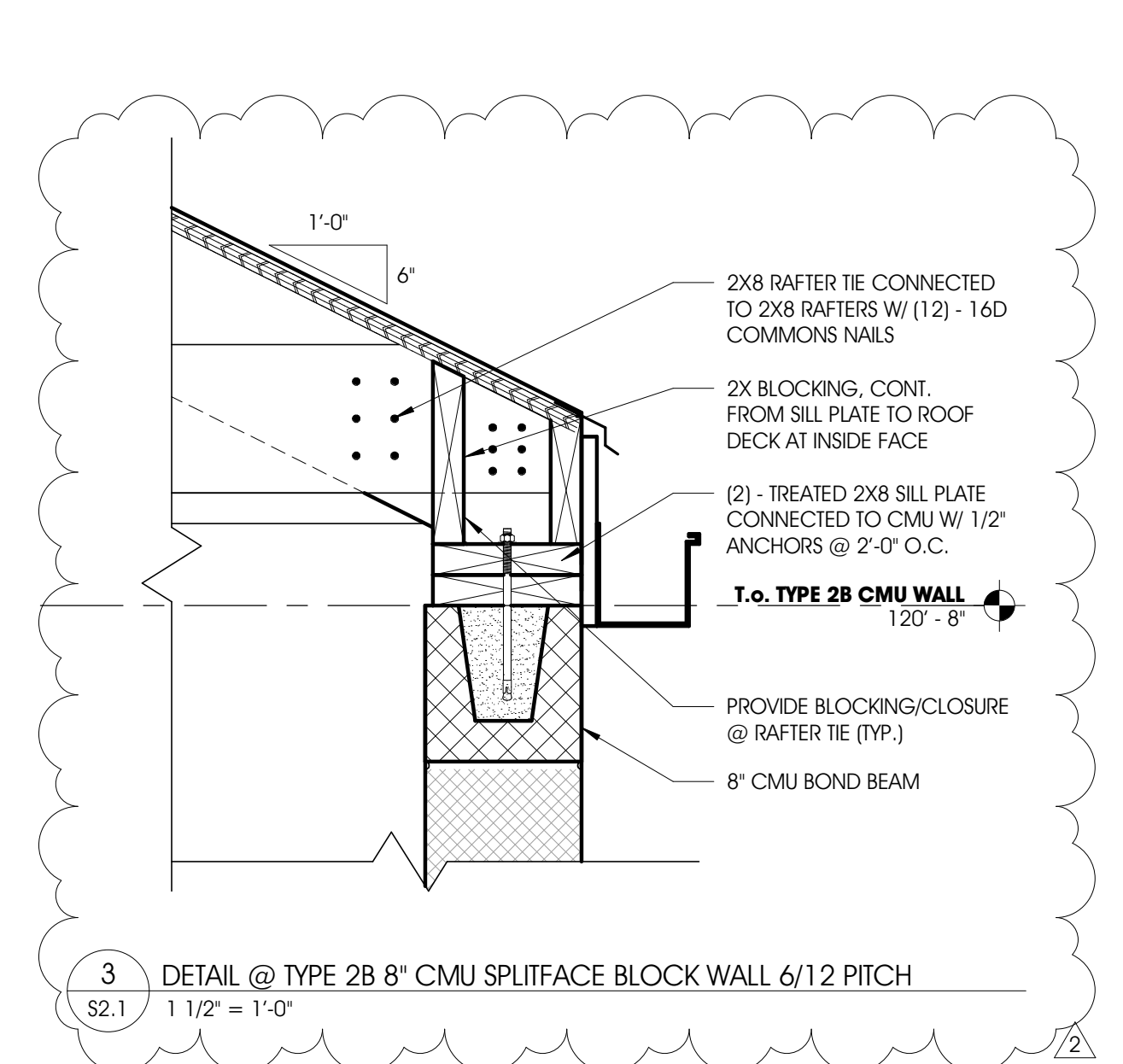
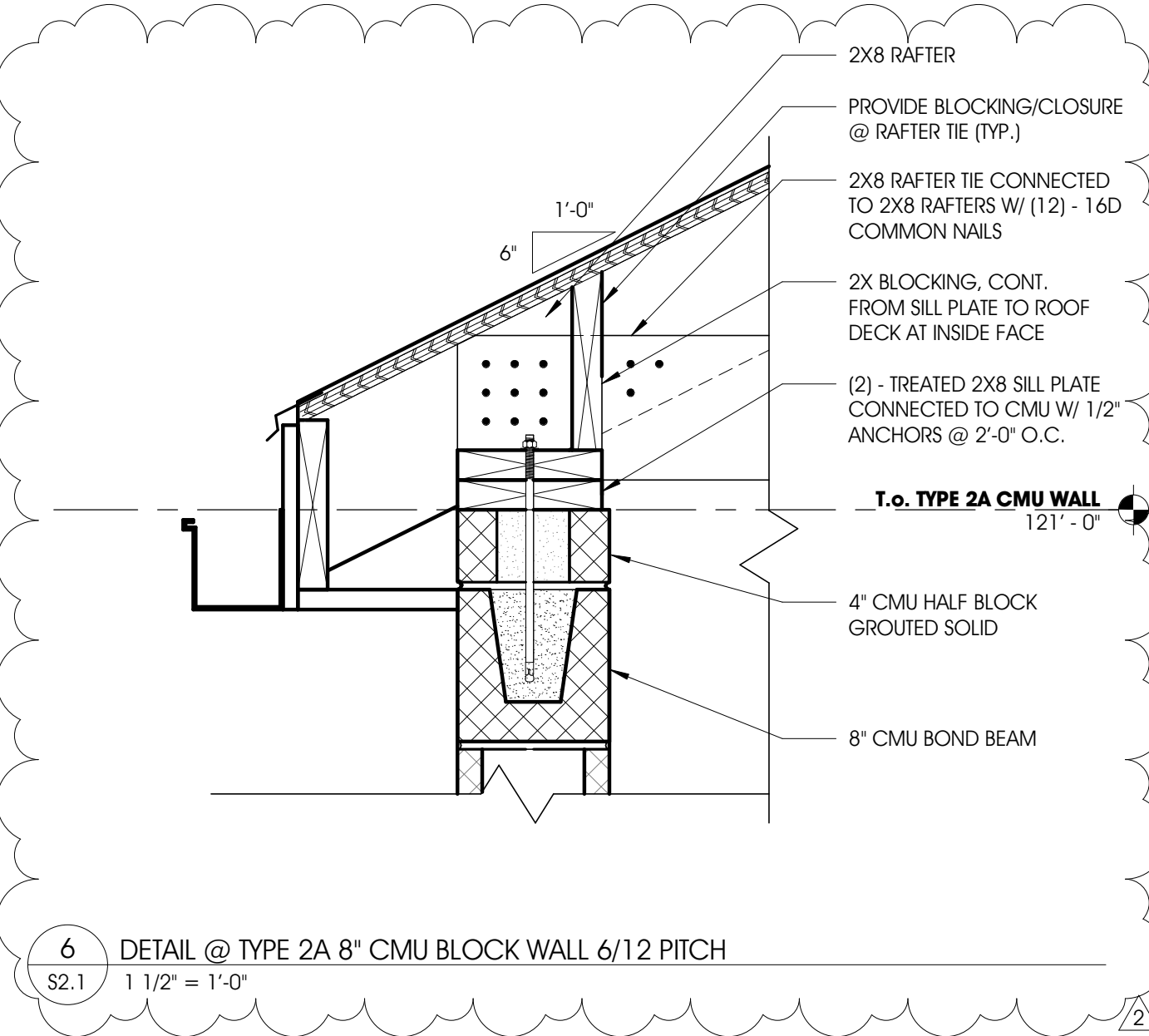
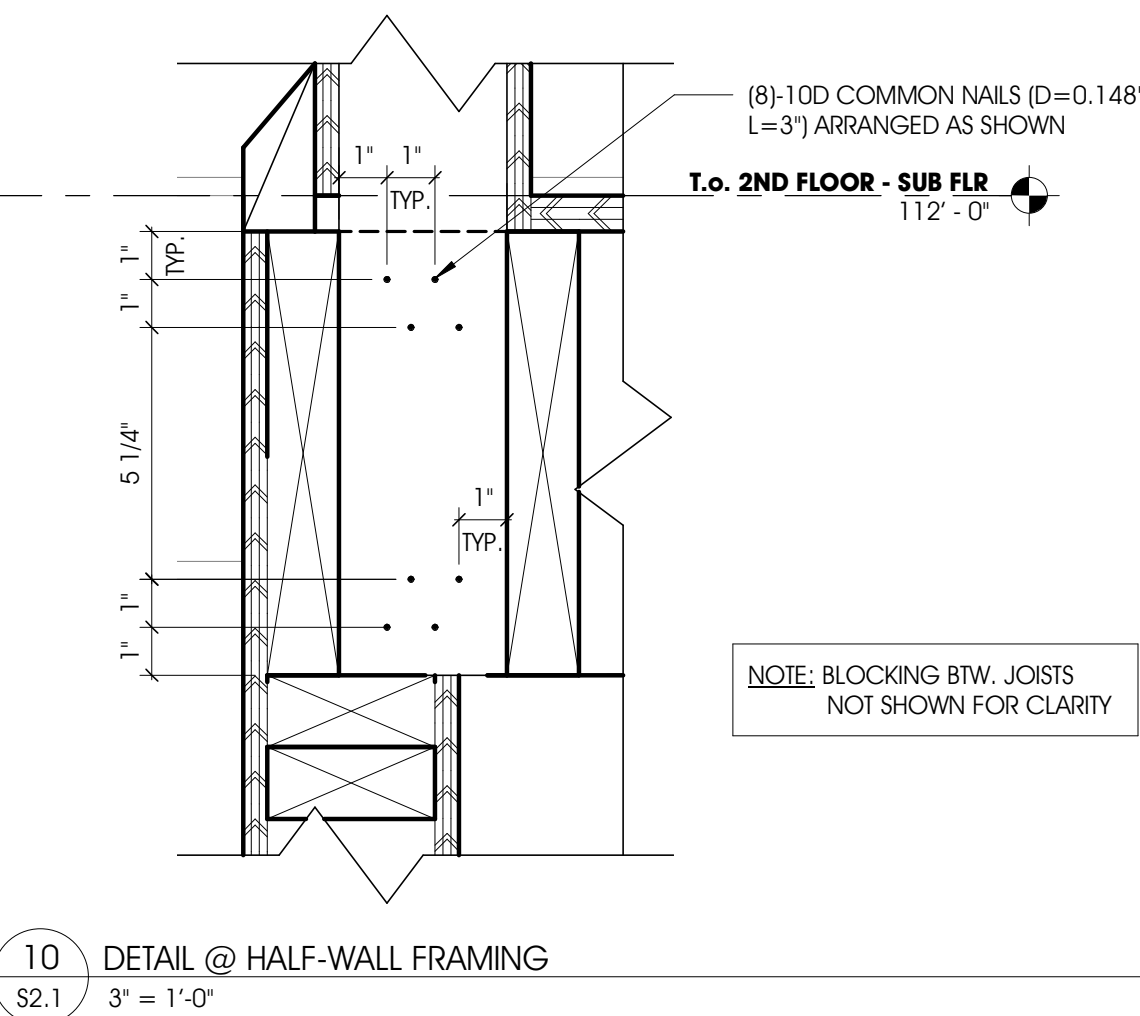
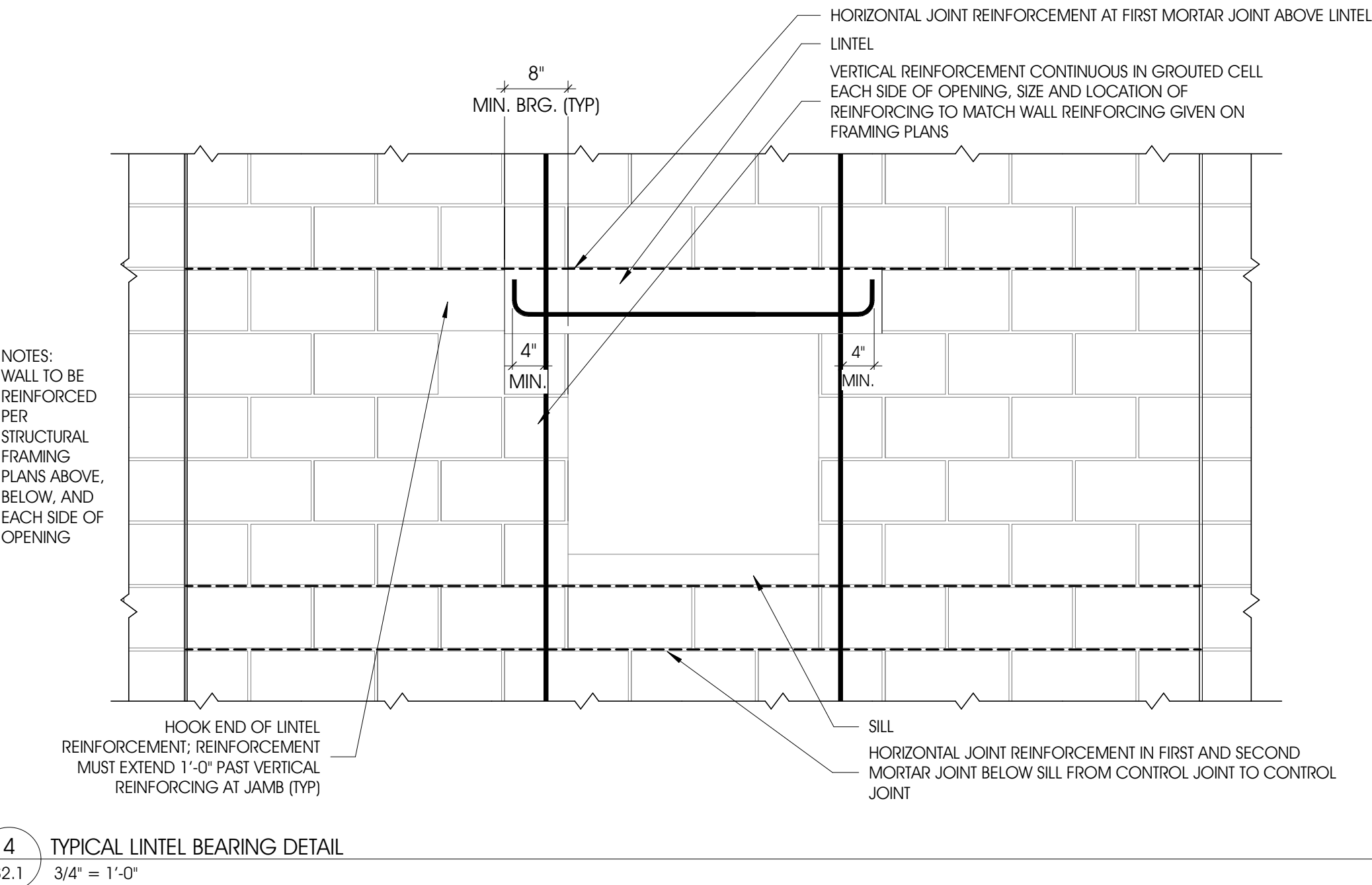
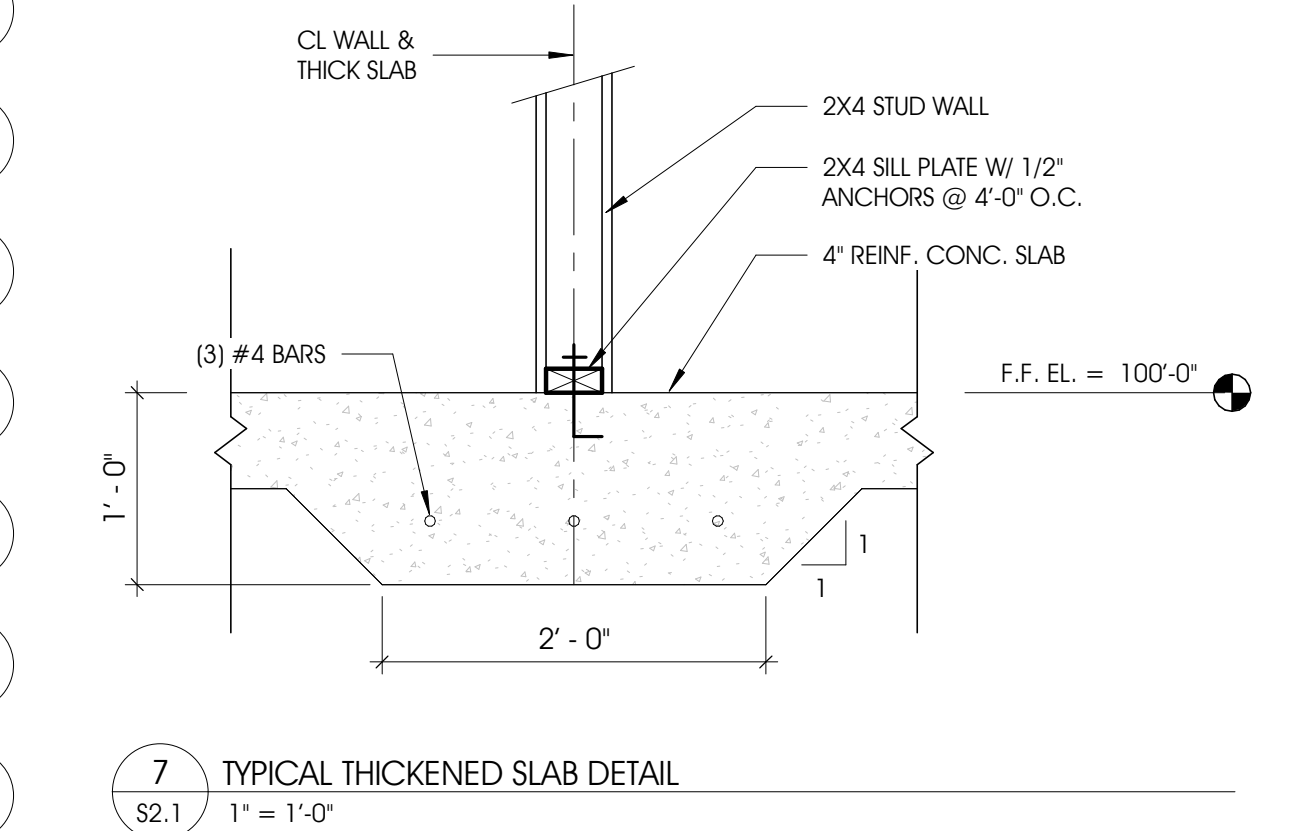
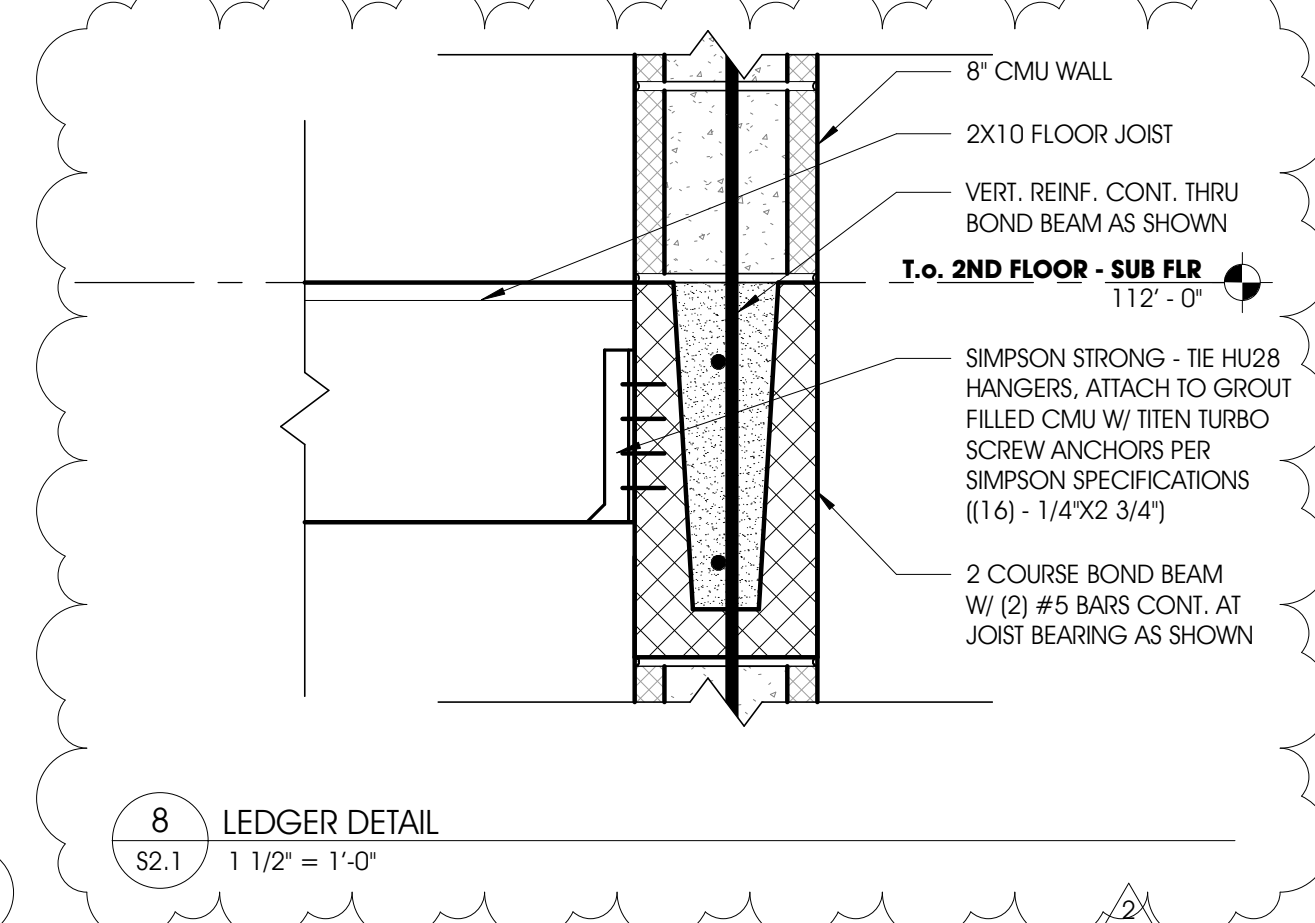
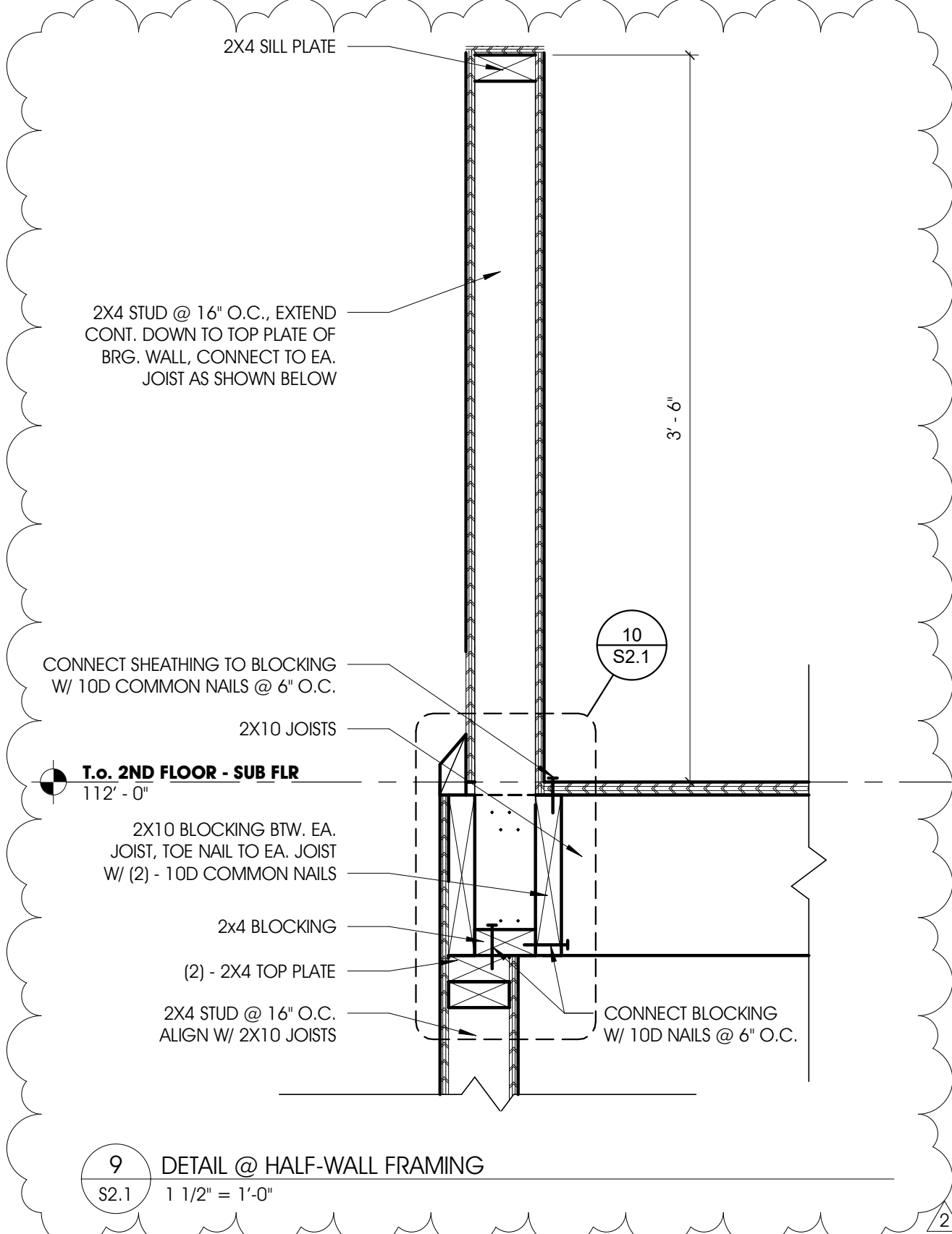
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S1.0

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DICKINSON PARK IMPROVEMENTS
CITY OF ST. JOSEPH
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STRUCTURAL DETAILS

PROJECT: DICKINSON PARK IMPROVEMENTS
CITY OF ST. JOSEPH
2499 STADIUM DRIVE, ST. JOSEPH, MI 49085

SHEET TITLE: STRUCTURAL DETAILS

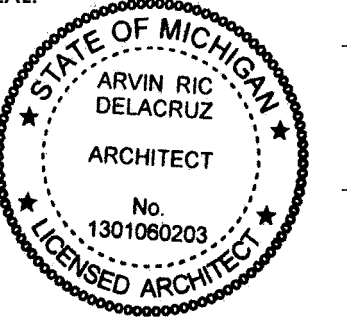
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DESIGNED BY: ARD

PM REVIEW: SNK

QA/QC REVIEW: SNK

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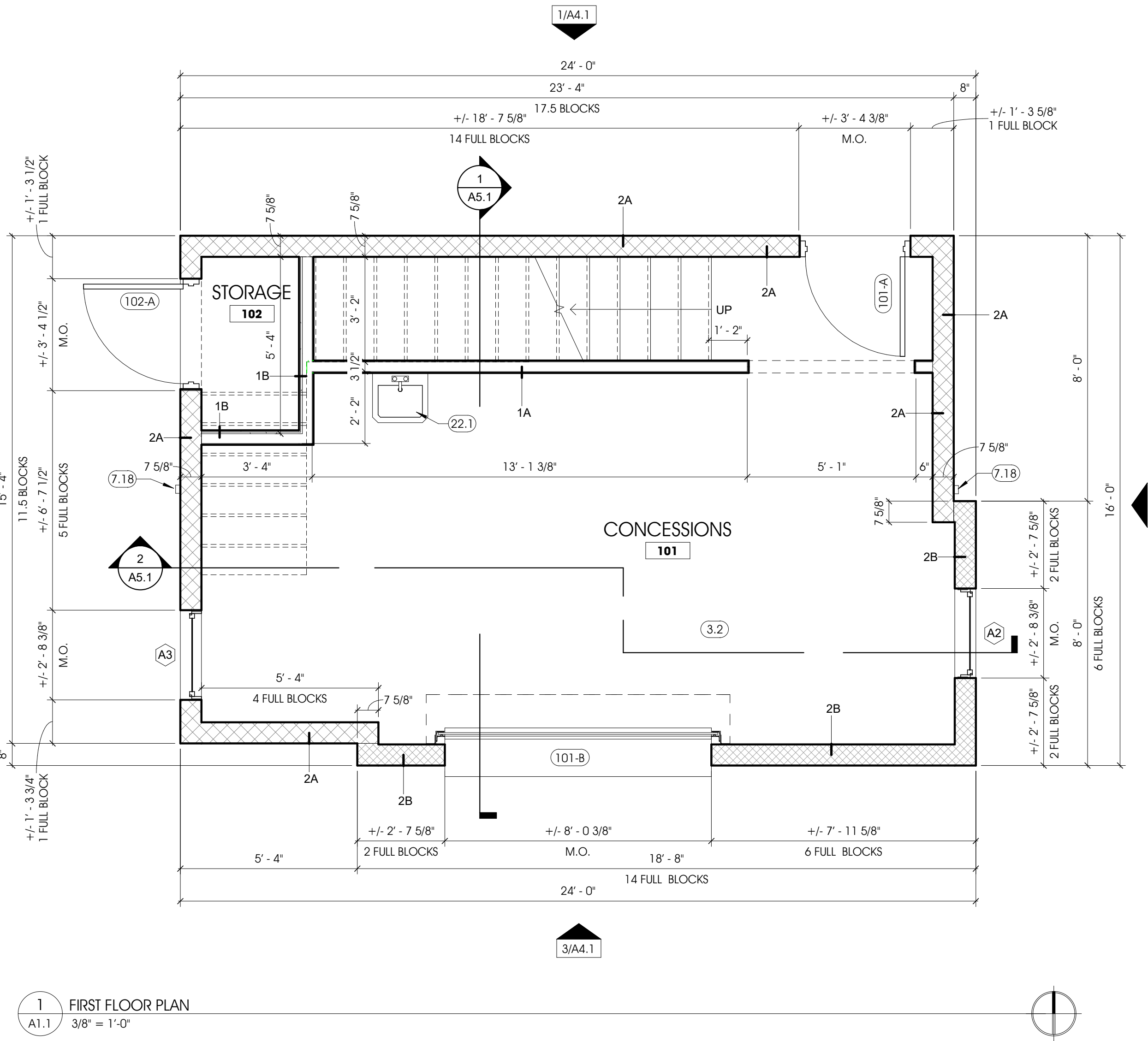
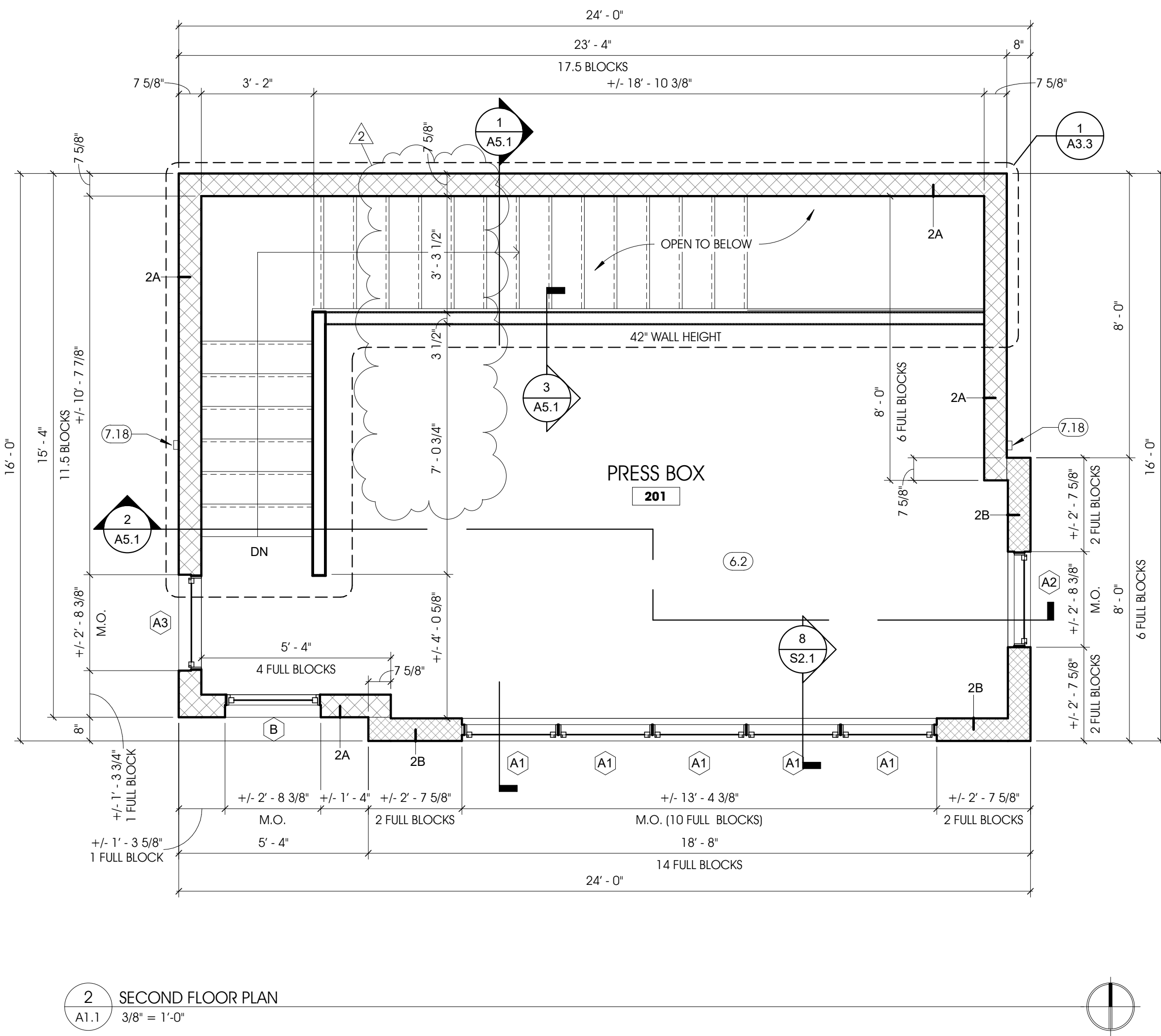
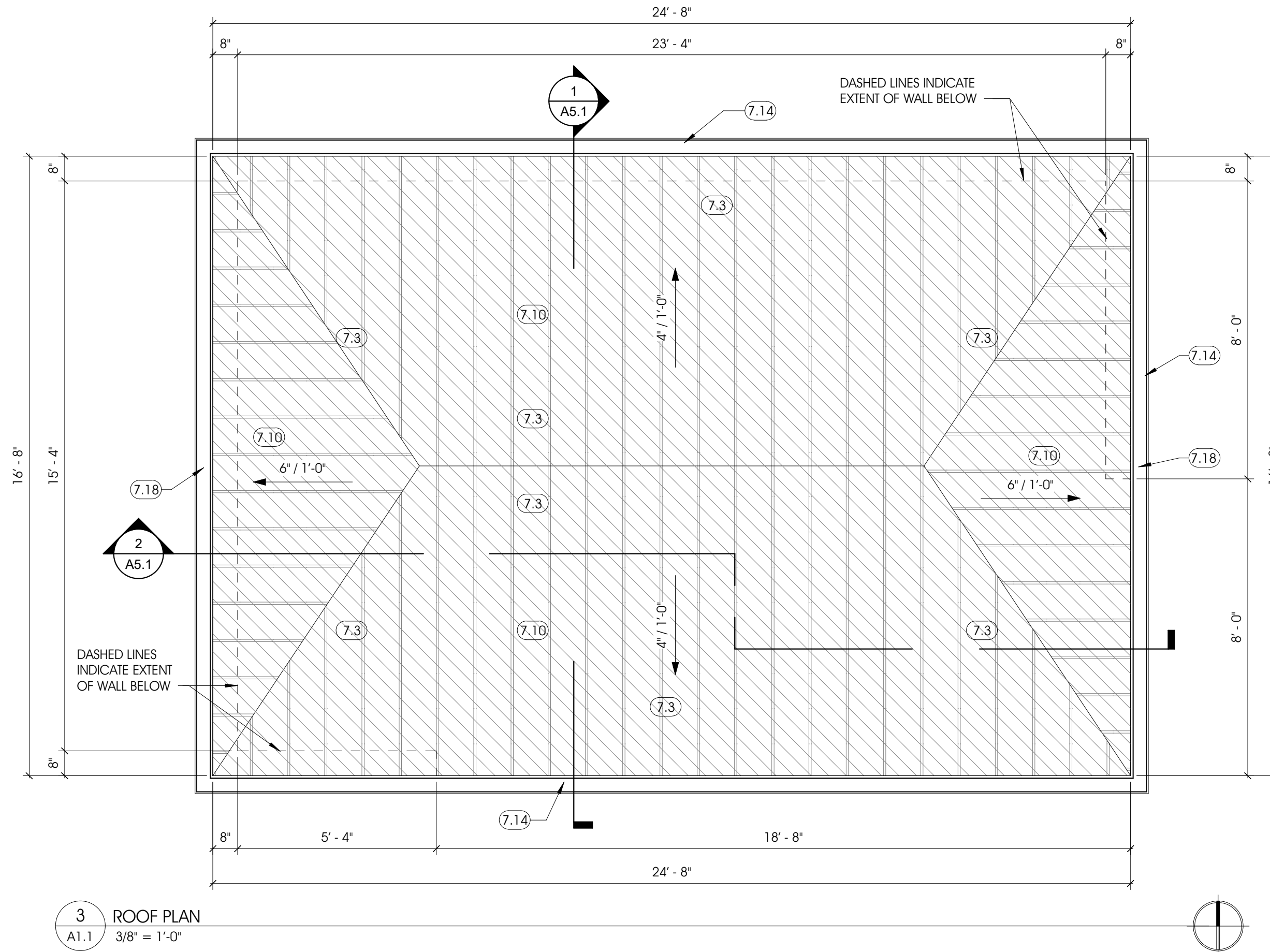
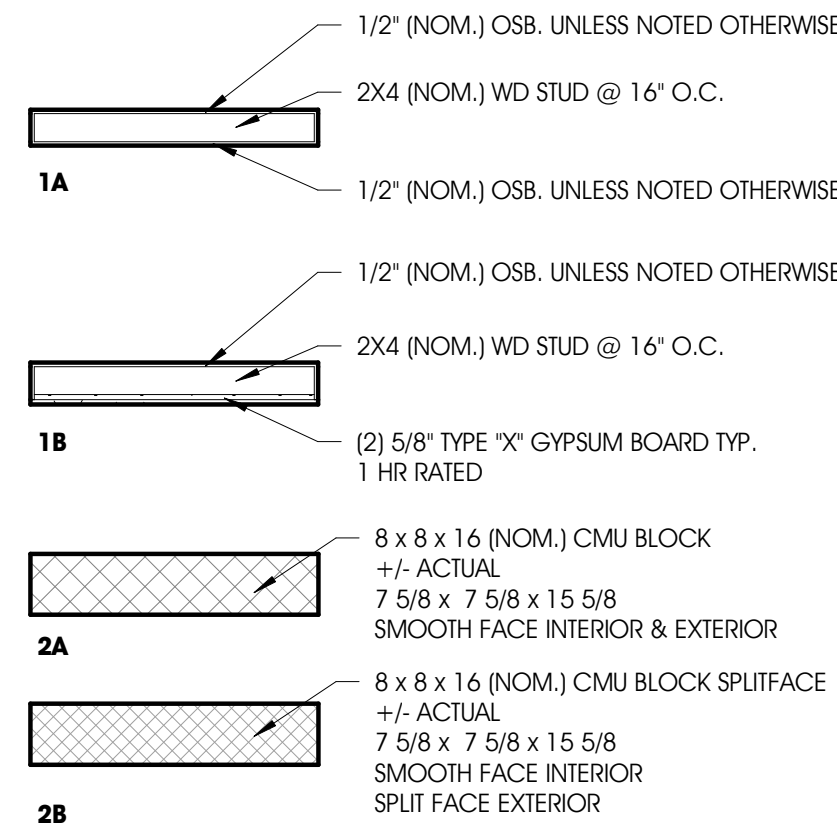
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S2.1

GENERAL NOTES - WALL TYPES

- A. PROVIDE SMOKE SEAL WALL ASSEMBLY/FINISH AT ALL FIRE RATED CORRIDOR WALLS, HEAD, BASE, AND PENETRATION/OPENING LOCATIONS
- B. PROVIDE UL OR USG RATED ASSEMBLY AT ALL FIRE RATED WALL AND CEILING LOCATIONS
- C. PROVIDE WALL BRACING AS REQUIRED
- D. PROVIDE WOOD BLOCKING FOR CASEWORK, GRAB BARS, ACCESSORIES, ETC...
- E. REFER TO ROOM FINISH SCHEDULE FOR WALL FINISHES
- F. PROVIDE CMU WITH FINISHED ENDS AT PERIMETER OF ALL OPENING (JAMBS, SILLS, HEADS, ETC.)



GENERAL NOTES - FLOOR PLAN

- A. U.N.O. ALL PLAN DIMENSIONS ARE TO ROUGH FRAMING.
- B. REFER TO SHEET T1.2 FOR WALL TYPES.
- C. REFER TO SHEET AB.1 ROOM FINISH SCHEDULE FOR INTERIOR FINISH MATERIALS.
- D. REFER TO STRUCTURAL DRAWINGS & SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- E. REFER TO MEP DRAWINGS & SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- F. PROVIDE HANDRAILS ON BOTH SIDES OF STAIR.
- G. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP AND BOTTOM OF EACH STAIR RUN.
- H. CONFIRM ALL MASONRY OPENINGS (M.O.). CONFIRM W/ WINDOW & DOOR SCHEDULE FOR SIZING REQUIREMENTS FOR ROUGH OPENINGS.
- J. STAIR HANDRAILS NOT DEPICTED ON THESE FLOOR PLANS - REFER TO STAIR PLANS ON A3.3.

KEYNOTES - FLOOR PLAN A1.1

#	Keynote Long
3.2	CAST-IN-PLACE CONCRETE SLAB-ON-GRADE, FIN. FLR., 4" THICK; W.W.F. REINFORCED - SEE STRUCTURAL; CONTIN. MOISTURE BARRIER, BENEATH; CURING SEALANT TOP COATING
6.2	WOOD SHEATHING, SUBFLOOR/FIN. FLOOR: 3/4" T&G PLYWOOD; SEE STRUCTURAL
7.18	DOWNSPOUT: ALUM./ZINC ALLOY-COATED STL. (TO MATCH METAL ROOF COMPONENTS); PAINTED BLUE [SEE PAINT SCHEDULE]
22.1	WALL MOUNTED LAVATORY; MOUNT AT ADA-ACCESSIBLE HEIGHTS/CLEARANCES

KEYNOTES - ROOF PLAN

#	Keynote Long
7.3	CONTINUOUS METAL ROOF PANEL UNDERLAYMENT: SELF-ADHERING; HIGH-TEMPERATURE RATED
7.10	STANDING SEAM METAL ROOF, W/ RAIL-TYPE SNOW GUARDS; ALUM./ZINC-ALLOY COATED STL.; FLAT PAN BTM. RBBS; PAINTED BLUE [SEE PAINT SCHEDULE]
7.14	GUTTER AND DOWNSPOUT: ALUM./ZINC ALLOY-COATED STL. (TO MATCH METAL ROOF COMPONENTS); PAINTED BLUE [SEE PAINT SCHEDULE]; PROVIDE ELBOW AT BTM./ DOWNSPOUT
7.17	SOFFIT: REVEAL-JOINT PROFILE: ALUM./ZINC ALLOY-COATED STL. (TO MATCH METAL ROOF COMPONENTS); PAINTED BLUE [SEE PAINT SCHEDULE]
7.18	DOWNSPOUT: ALUM./ZINC ALLOY-COATED STL. (TO MATCH METAL ROOF COMPONENTS); PAINTED BLUE [SEE PAINT SCHEDULE]

ROOF LEGEND



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FIRST & SECOND FLOOR - CONSTRUCTION PLANS

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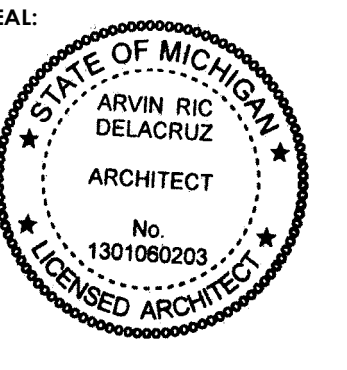
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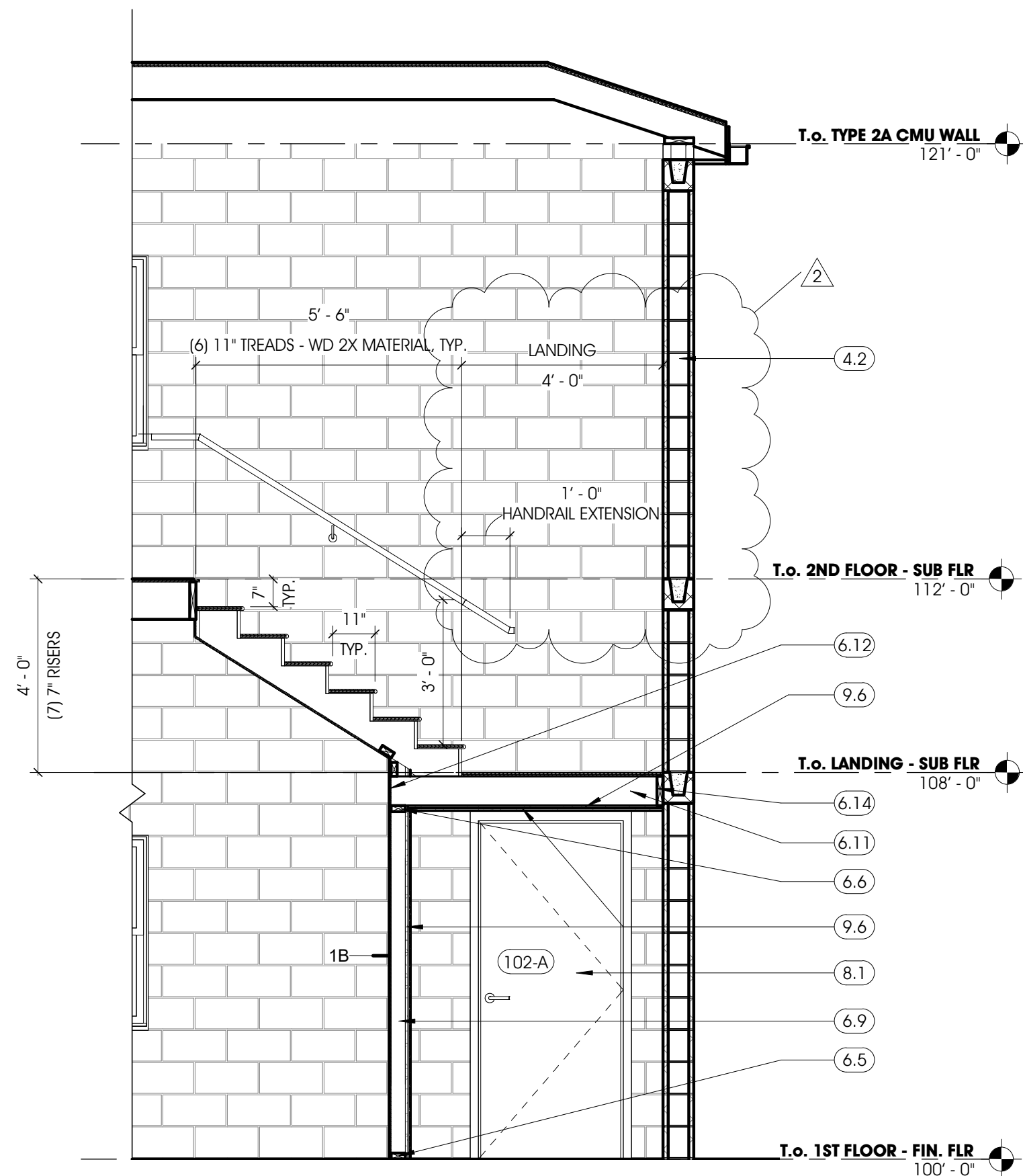
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SHEET NO. A1.1

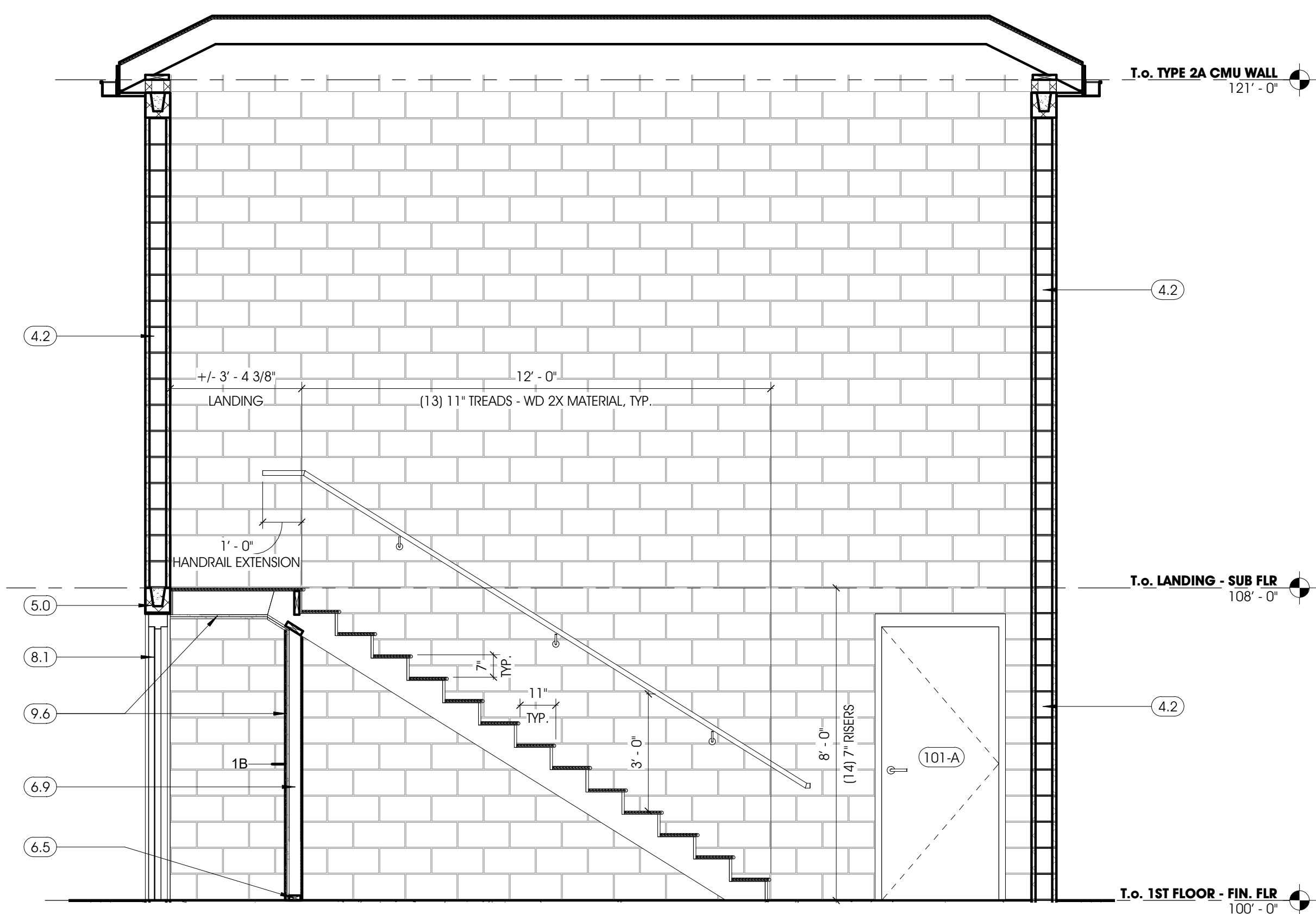
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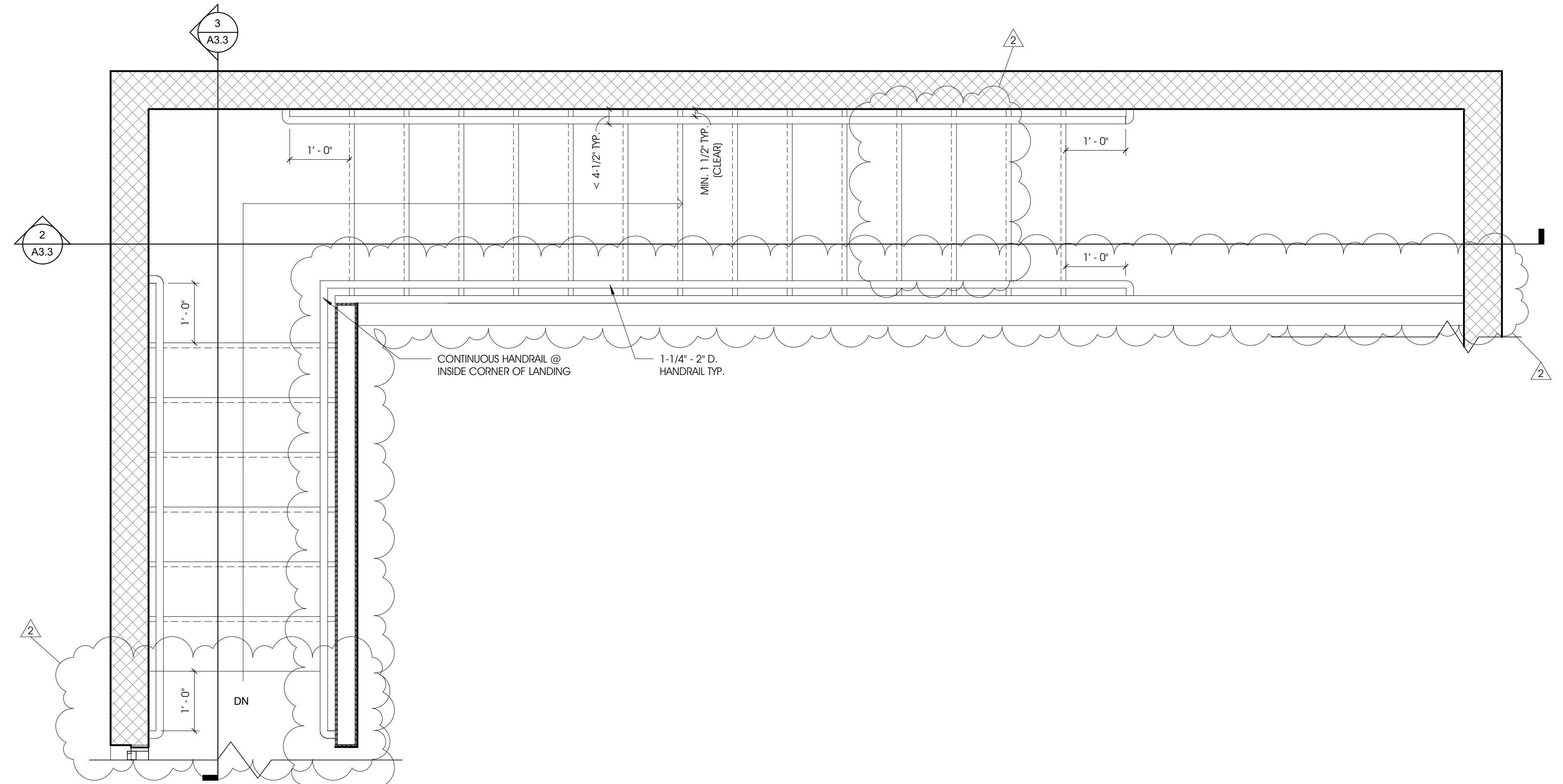
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3 STAIR SECTION 2
A3.3 3/8" = 1'-0"



2 STAIR SECTION 1
A3.3 3/8" = 1'-0"



1 ENLARGED STAIR PLAN
A3.3 3/4" = 1'-0"

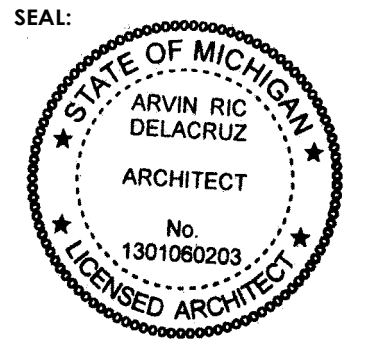
KEYNOTES - STAIR DETAILS A3.3	
#	Keynote Long
4.2	8x8x16 CMU BLOCK; SMOOTH FACE (INT./EXT.); PAINTED BLUE [SEE PAINT SCHEDULE] (EXT.); NATURAL/NO PAINT (INT.)
5.0	REINFORCED UNTEL CMU BOND BEAM; SMOOTH FACE (INT./EXT.); PAINTED YELLOW [SEE PAINT SCHEDULE] (EXT.); EXT. FACE TO MIMIC STD. 8x16 MODULAR COURSING; NATURAL/NO PAINT (INT.); SEE STRUCTURAL
5.2	8x8x16 REINFORCED CMU BOND BEAM BLOCK; SPLIT FACE (INT./EXT.); NATURAL/NO PAINT (INT.); SEE STRUCTURAL
6.5	P.T. WOOD SILL PLATE; 2X4
6.6	WOOD DOUBLE TOP PLATE; 2X4
6.9	2X4 WOOD STUD WALL; SEE WALL TYPES, STRUCTURAL
6.11	2X8 WOOD JOISTS; SEE STRUCTURAL, FRAMING PLAN
6.12	WOOD SHEATHING, WALL; 1/2" O.S.B.
6.13	SEE STRUCTURAL FOR TOP PLATE ANCHORING INFO
6.14	P.T. WOOD LEDGER BOARD W/ STL JOIST HANGERS - SEE STRUCTURAL
8.1	HOLLOW METAL DOOR; HEAVY-DUTY; SEE DOOR SCHEDULE
9.6	TYPE X 5/8" GYP BOARD (2 LAYERS)

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SHEET TITLE: **ENLARGED STAIR PLAN AND ELEVATIONS**

MODELED BY: JPA
 DESIGNED BY: ARD
 PM REVIEW: SNK
 QA/QC REVIEW: SNK
 DATE: 02/03/2023



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A3.3

PAINT SCHEDULE

KEYNOTE #	COMPONENT	MATERIAL	FACE	COLOR...	REMARKS
4.2	8x8x16 CMU BLOCK	CMU	EXTERIOR	BLUE (DARK)	FIELD PRIMED AND PAINTED IN ACCORDANCE W/ SEC. 099113; TOP COAT CUSTOM COLOR OF DARK BLUE TO MATCH SCHOOL COLORS - OWNER TO PROVIDE IDENTIFICATION; SUPPLIER TO MATCH
4.3	8x8x16 CMU BLOCK	CMU	EXTERIOR	YELLOW	FIELD PRIMED AND PAINTED IN ACCORDANCE W/ SEC. 099113; TOP COAT CUSTOM COLOR OF YELLOW TO MATCH SCHOOL COLORS - OWNER TO PROVIDE IDENTIFICATION; SUPPLIER TO MATCH
4.7	8x8x16 CMU BLOCK				SAME AS 4.2
4.9	LINTEL CMU BOND BEAM				SAME AS 4.2
5.0	LINTEL CMU BOND BEAM				SAME AS 4.3
5.1	8x8x16 REINFORCED CMU BOND BEAM BLOCK				SAME AS 4.2
7.1	STANDING SEAM...	METAL	EXTERIOR	BLUE (DARK)	FACTORY PAINTED IN ACCORDANCE W/ SEC. 074113.16; FLUOROPOLYMER, 2-COAT; DESIGN BASIS SHERWIN-WILLIAMS "FLUORON CLASSIC II "DARK BLUE" COLOR; MANUFACTURER'S STANDARD COLORS ARE ACCEPTABLE IF SAME OR SIMILAR TO DESIGN BASIS
7.13	ROOF DRIP EDGE				SAME AS 7.1
7.14	GUTTER AND DOWNSPOUT				SAME AS 7.1
7.17	SCOFFIT				SAME AS 7.1
7.18	DOWNSPOUT				SAME AS 7.1

DOOR SCHEDULE

NO.	TO ROOM	Handling	DOOR			Panel Material		Panel Finish		DOOR		FRAME		FRAME		HARDWARE	REMARKS
			WIDTH	HEIGHT	THICKNESS	MATERIAL	Finish	FIRE RATING	Frame Type	MATERIAL	Frame Finish	JAMB	HEAD				
101-A	CONCESSIONS	L.H.	3'-0"	7'-0"	0'-1 3/4"	STEEL	PT-2	N/A	HM	HM	PT-2	A	A	01	M.O. HEAD 4" FRAME		
101-B	CONCESSIONS	N/A	8'-0 3/8"	4'-0"		S.S.	S.S.	N/A		S.S.	S.S.				HAND CRANK, LOCKABLE. CORNELL ROLLING COUNTER DOOR PACKAGE UNIT, MODEL #ESC20 (WITH FRAME AND INTEGRAL SILL), HAND CRANK, LOCK, AND PULLS BY MANUFACTURER.		
102-A	STORAGE	L.H. REV.	3'-0"	7'-0"	0'-1 3/4"	STEEL	PT-2		HM	HM	PT-2	A	A	02	M.O. HEAD 4" FRAME		

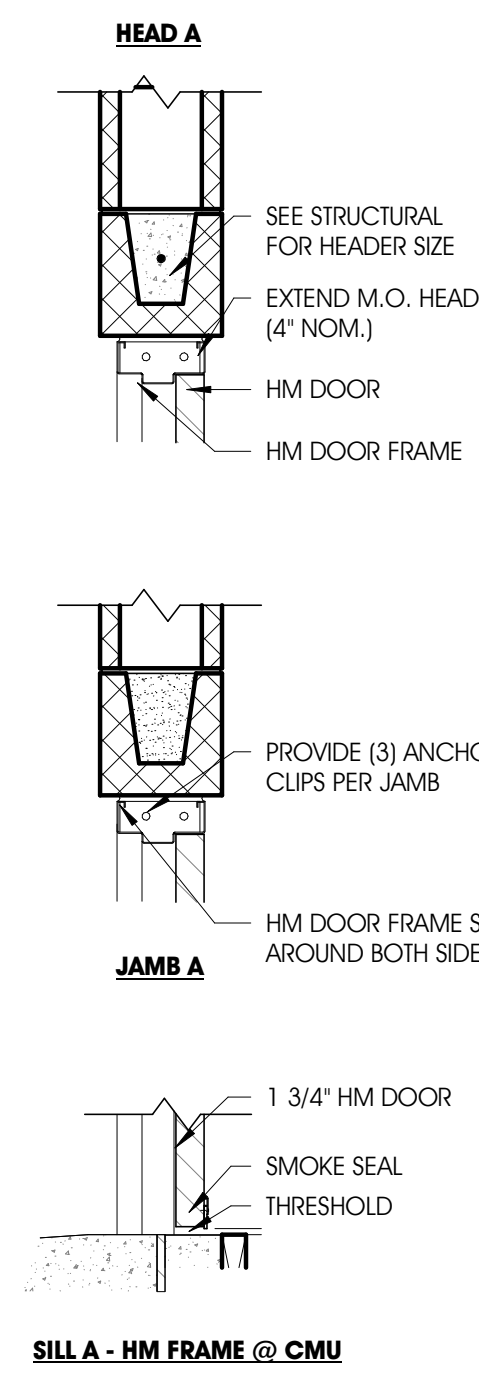
ROOM SCHEDULE

RM. NO.	ROOM NAME	FLOORING		BASE	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING		CEILING HEIGHT	REMARKS
		MATERIAL	FINISH		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
101	CONCESSIONS	PT-4	CS	N/A	CMU	CMU	CMU	CMU	CMU	CMU	CMU	CMU	N/A	N/A	10' - 10 3/4"	NO CEILING - UNDER SIDE OF JOISTS ABOVE EXPOSED
102	STORAGE	PT-4	CS	N/A	CMU	CMU	GYP	PT-1	GYP	PT-1	CMU	CMU	GYP	PT-1	7' - 2 1/2"	2 LAYERS OF 5/8" TYPE X GYP
201	PRESS BOX	PT-4	OSB	N/A	OSB	OSB	OSB	OSB	CMU	CMU	CMU	CMU	N/A	N/A	8' - 11 3/8"	NO CEILING - UNDERSIDE OF RAFTERS EXPOSED ABOVE

WINDOW SCHEDULE

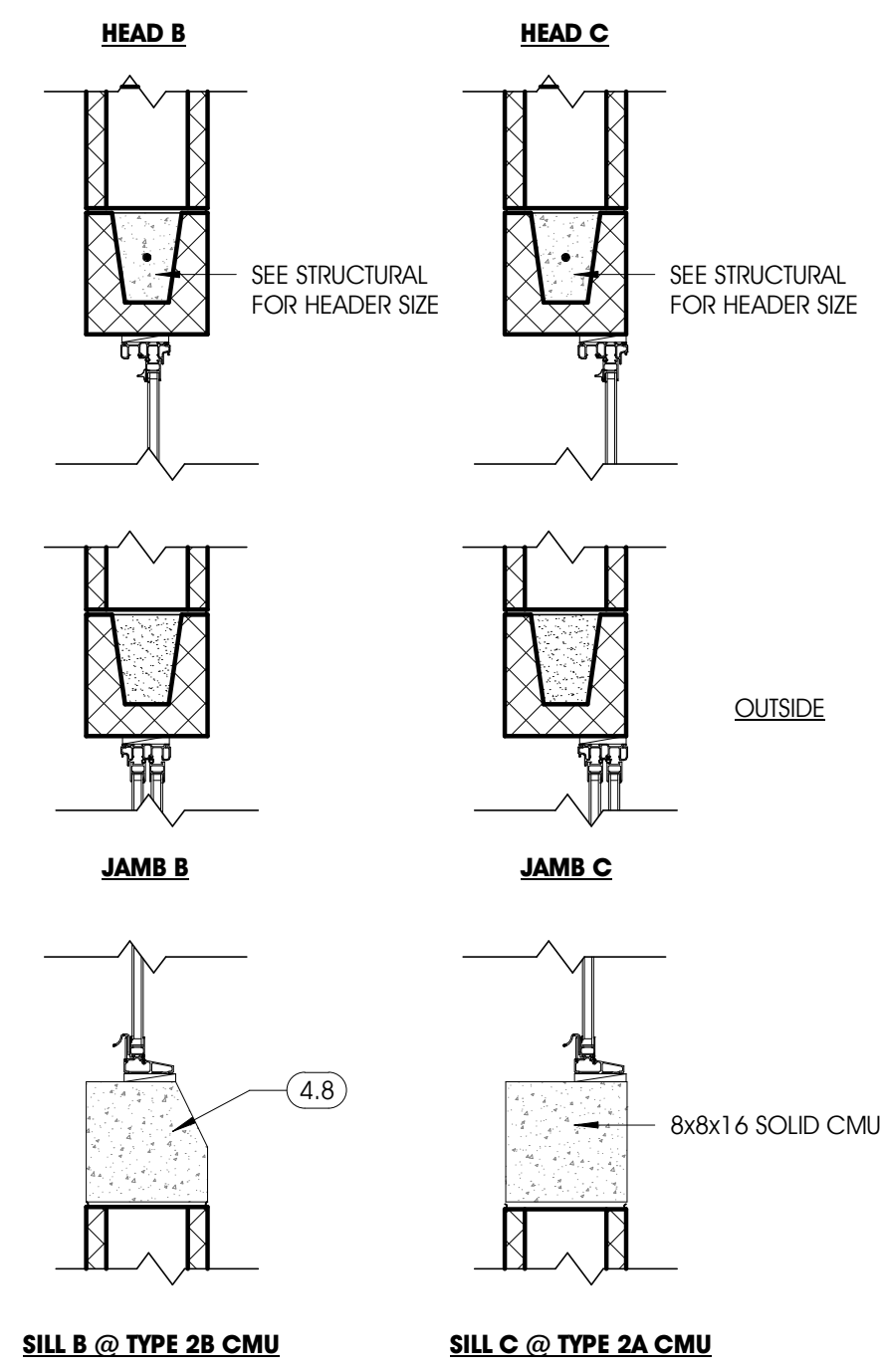
MARK	MFR.	R.O.		TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL	SILL HEIGHT	HEAD HEIGHT	REMARKS	Count
		WIDTH	HEIGHT										
A1	MARVIN	2' - 7 1/2"	3' - 11"	SINGLE HUNG	FIBERGLASS	PT-3	B	B	B	2' - 9"	6' - 8"		5
A2	MARVIN	2' - 7 1/2"	3' - 11"	SINGLE HUNG	FIBERGLASS	PT-3	B	B	B	2' - 9"	6' - 8"	WINDOWS FACTORY MULLED (3X) + (2X)	2
A3	MARVIN	2' - 7 1/2"	3' - 11"	SINGLE HUNG	FIBERGLASS	PT-3.1	C	C	C	2' - 9"	6' - 8"		2
B	MARVIN	2' - 7 1/2"	2' - 7 1/2"	Fixed	FIBERGLASS	PT-3.1	C	C	C	2' - 9"	6' - 8"		1

DOOR FRAME DETAILS



1 DOOR & WINDOW FRAME DETAILS
A8.1 1" = 1'-0"

WINDOW FRAME DETAILS



GENERAL NOTES - DOORS

- A. ALL DOOR & FRAME INSTALLATIONS SHALL BE PER ACCEPTED INDUSTRY STANDARDS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE
- B. ALL SWING DOORS SHALL BE OPERABLE WITH LESS THAN 5 LBS FORCE PER CODE, ADA, & ANSI REQUIREMENTS
- C. FRAME SIZES SHALL BE COORDINATED WITH WALL SIZE FOR TYPICAL CMU APPLICATION. ALL FRAMES SHALL BE WELDED.
- D. ALL HOLLOW METAL FRAMES SHALL BE PAINTED, ONE (1) COAT PRIME, TWO (2) COATS FINISH, UNLESS NOTED OTHERWISE
- E. ALL EXTERIOR DOORS SHALL BE 1 3/4" HOLLOW METAL DOORS
- F. COORDINATE KEYING REQUIREMENTS WITH OWNER
- G. PROVIDE ADA COMPLIANT ROOM IDENTIFICATION SIGNAGE. COORDINATE WITH OWNER PRIOR TO SUBMITTING BID - REFER TO REFERENCE SHEET T1.2 FOR MOUNTING REQUIREMENTS

DOOR & HARDWARE INFORMATION

SUBMITTALS - SHOP DRAWINGS INDICATING FRAME ELEVATIONS, REINFORCEMENT, ANCHOR TYPES AND SPACING, LOCATION OF CUT-OUTS FOR HARDWARE AND FINISH.

SLENCERS: RESILIENT RUBBER FITTED INTO DRILLED HOLE; 3 ON STRIKE SIDE OF SINGLE DOOR.

HOLLOW METAL DOORS, UNINSULATED

WARRANTY - FURNISH "LIFE OF INSTALLATION" WARRANTY FOR INTERIOR DOORS.

DOOR HARDWARE:

ALL DOOR HARDWARE SHALL BE HEAVY DUTY

SUBMITTALS - SHOP DRAWINGS INDICATING LOCATIONS AND MOUNTING HEIGHTS OF EACH TYPE OF HARDWARE, SCHEDULES, CATALOG CUTS.

HINGES (BUTT) - IVES SBB1 4.5x4.5

LEVER HANDLE CYLINDRICAL LOCKSET - FALCON LOCKSET K SERIES GRADE 1 "Q" LEVER DESIGN (FUNCTIONS AS NOTED). KEY PER OWNER'S SECURITY STANDARDS.

DEADBOLTS - FALCON D241

VIEWER - IVES U698

CLOSER @ HOLLOW METAL DOORS - LCN 400 SERIES (4040XP) DO NOT MOUNT CLOSER ON OUTSIDE OF DOOR (TYP)

OVERHEAD STOP W/ HOLD-OPEN FUNCTION - GLYNN JOHNSON 90

FLOOR STOP - IVES FS17 (U.N.O)

ALL FINISHES SHALL BE SATIN CHROME PLATED OVER NICKEL ON BRASS OR BRONZE; 626 (APPROXIMATELY US29) - CONFIRM PRIOR TO ORDERING

HARDWARE GROUPS

- *REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- *CONTRACTOR SHALL COORDINATE WITH ALL SUPPLIERS AND PROVIDE ALL RELATED ITEMS REQUIRED FOR A COMPLETE INSTALLATION.
- *PREP DOOR FRAMES AS REQUIRED FOR SPECIFIED HARDWARE INSTALLATION.
- SET 01 - DOOR 101A
LEVER HANDLE STOREROOM LOCKSET, DEADBOLT, (3) HINGES, LCN CLOSER, FLOOR STOP, VIEWER, ADA THRESHOLD, SWEEP & WEATHER SEALS
- SET 02 - DOOR 102A
LEVER HANDLE STOREROOM LOCKSET, DEADBOLT WITH THUMB LATCH, (3) HINGES, IVES OVERHEAD STOP W/ HOLD-OPEN FUNCTION, ADA THRESHOLD, SWEEP & WEATHER SEALS

ROOM FINISH LEGEND

- CONC. CONCRETE
- CS CONCRETE SEALER
- GYP GYPSUM WALL BOARD
- PT PAINT
- SS STAINLESS STEEL
- OSB 1/2" OSB PLYWOOD; EASE/SAND ALL EDGES AT WALL CORNERS
- PT-1 SHERWIN WILLIAMS PROMAR 200 - 1 PRIMER COAT, 2 FINISH COATS, COLOR WHITE
- PT-2 FACTORY PRIMED READY FOR EXTERIOR EXPOSURE, HIGH DURABILITY PAINT FOR METAL DOORS & FRAMES; SHOP PAINTED WITH CUSTOM DARK BLUE COLORING TO MATCH SCHOOL COLORS - OWNER PROVIDE COLOR IDENTIFICATION.
- PT-3 FACTORY PRIMED @ PAINTED & PRIMED; ARCHITECT TO APPROVE MANUFACTURER'S COLOR.
- PT-3.1 SAME AS PT-3; SHOP PAINTED, HOWEVER EXTERIOR WINDOW UNITS FRAMES TO BE PREPARED W/ FIBERGLASS - COMPATIBLE CUSTOM DARK BLUE COLORING TO MATCH SCHOOL COLORS - OWNER TO PROVIDE COLOR IDENTIFICATION.

2	Addendum 2	JLF	02/24/2023
NO.	REVISION DESCRIPTION	BY	DATE

ABONMARCHÉ
 315 W. JEFFERSON BLVD
 FORT WAYNE, IN 46801
 T 774.232.8700
 F 774.231.4440
 abonmarche.com

DICKINSON PARK IMPROVEMENTS
 CITY OF ST. JOSEPH
 2499 STADIUM DRIVE, ST. JOSEPH, MI 49085

SCHEDULES AND OPENING ELEVATIONS

SHEET TITLE:

MODELED BY: JPA

DESIGNED BY: ARD

PM REVIEW: SNK

QA/QC REVIEW: SNK

DATE: 02/03/2023

SEAL:

SIGNATURE:

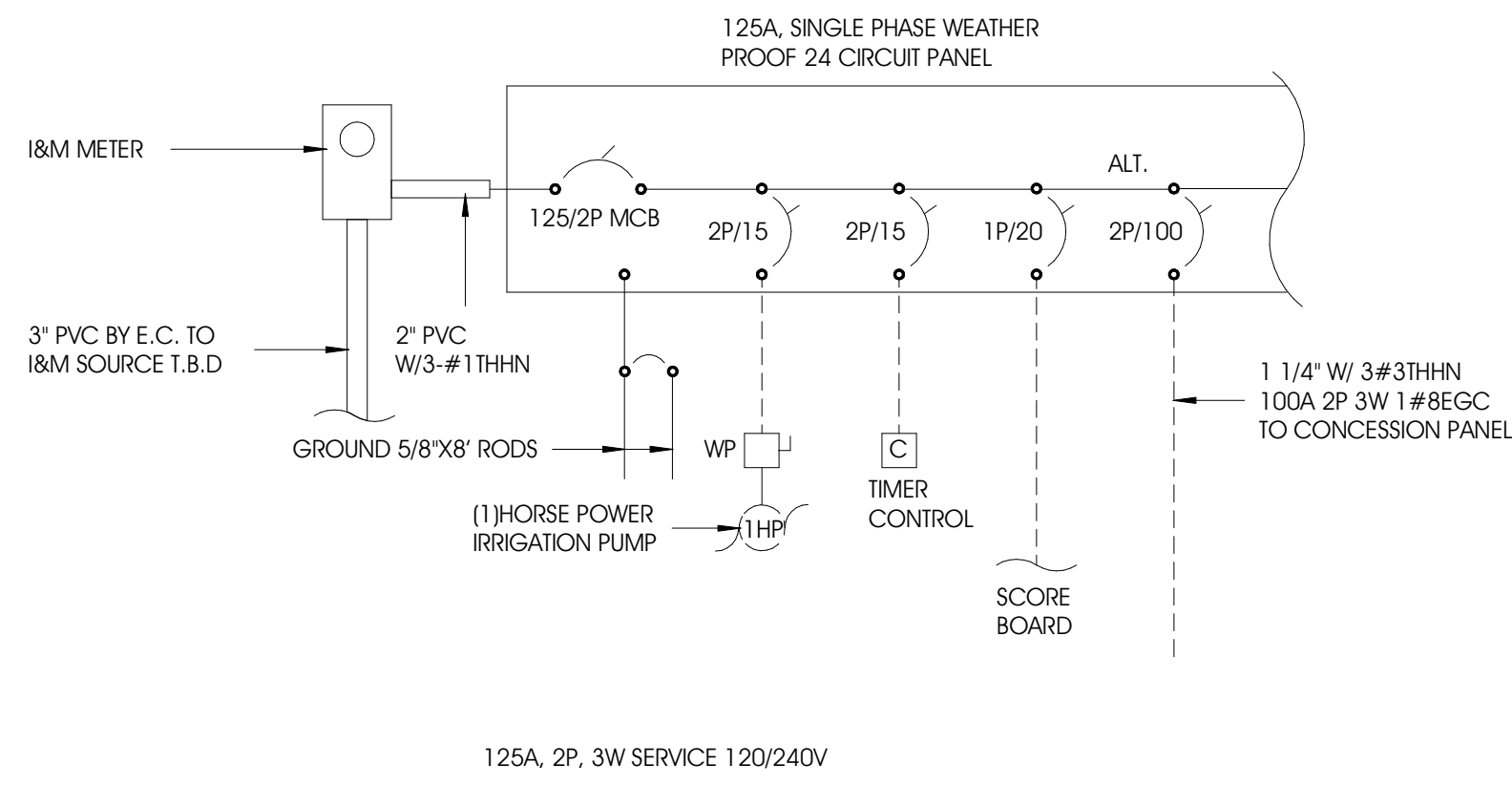
DATE: 02/03/2023

HARD COPY IS INTENDED TO BE 24" x 36" WHEN PLOTTED SCALE(S) INDICATED AND GRAPHIC QUALITY MAY NOT BE ACCURATE FOR ANY OTHER SIZES

SCALE: UNLESS NOTED OTHERWISE

ACI JOB # 21-1558

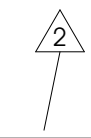
SHEET NO. A8.1



125A, 2P, 3W SERVICE 120/240V

1 ELEC. ONE LINE POWER DISTRIBUTION
3/8" = 1'-0"

O:\Projects\2021\21-1558 Dickinson Park Ball Field Renovations\CAD\Arch_Revit



315 W. JEFFERSON BLVD
ANN ARBOR, MI 48106
T 734.232.8700
F 734.231.4440
abonmarche.com

Benton Harbor
Coshen
East Lansing
Lafayette
Kalamazoo/Portage
South Bend
Valparaiso
Fort Wayne

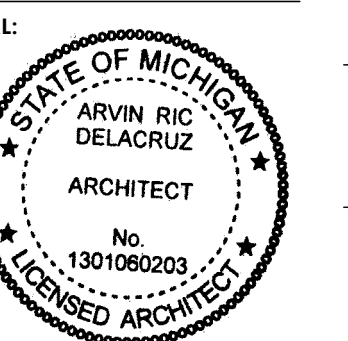
Engineering, Architecture, Land Surveying

PROJECT: **DICKINSON PARK IMPROVEMENTS**
CITY OF ST. JOSEPH
2499 STADIUM DRIVE, ST. JOSEPH, MI 49085

ELECTRICAL POWER

SHEET TITLE:

MODELED BY: JLF
DESIGNED BY: ARD
PM REVIEW: SNK
QA/QC REVIEW: SNK
DATE: 02/03/2023



SIGNATURE: _____
DATE: _____

HARD COPY IS INTENDED TO BE 24" x 36" WHEN PLOTTED
SCALE(S) INDICATED AND GRAPHIC QUALITY MAY NOT BE ACCURATE FOR ANY OTHER SIZES

SCALE: _____
UNLESS NOTED OTHERWISE

ACI JOB # **21-1558**

SHEET NO. **E1.2**

2	Addendum 2	JLF	02/24/2023
NO.	REVISION DESCRIPTION	BY	DATE

BID FORM FOR CONSTRUCTION CONTRACT

The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

ARTICLE 1—OWNER AND BIDDER

- 1.01 This Bid is submitted to: **St. Joseph Public Schools, 2580 S Cleveland Ave, St Joseph, MI 49085**
- 1.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with Owner in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

ARTICLE 2—ATTACHMENTS TO THIS BID

- 2.01 The following documents are submitted with and made a condition of this Bid:
- A. Required Bid security;
 - B. List of Proposed Subcontractors;
 - C. List of Proposed Suppliers;
 - D. Evidence of authority to do business in the state of the Project; or a written covenant to obtain such authority within the time for acceptance of Bids;
 - E. Contractor’s license number as evidence of Bidder’s State Contractor’s License or a covenant by Bidder to obtain said license within the time for acceptance of Bids;
 - F. Required Bidder Qualification Statement with supporting data; and

ARTICLE 3—BASIS OF BID—UNIT PRICES

3.01 *Total Base Bid Price – GROUP A (Unit Prices)*

No.	Item	Est. Qty.	Unit	Unit Cost	Extended Cost
1	Mobilization (Max. \$110,000)	1	LSUM	\$	\$
2	Silt Fence	2,715	Ft	\$	\$
3	Tree Removal	11	Ea	\$	\$
4	Tree Protection Fence	2,180	Ft.	\$	\$
5	Concrete Paving Removal	115	Syd	\$	\$
6	Brick Paver Removal	48	Syd	\$	\$
7	Asphalt Paving Removal	12	Syd	\$	\$
8	Concrete Curb Removal	4	Ft	\$	\$
9	Infield Stone Surface Removal	2,810	Syd	\$	\$
10	Concrete Retaining Wall Removal	140	Ea	\$	\$
11	Concrete Bleacher Riser Removal (includes bleacher removal)	540	Sft	\$	\$

12	Baseball Field Press Box Removal	1	LSUM	\$	\$
13	Softball Field Small Press Box Removal/Salvage	1	LSUM	\$	\$
14	Backstop Removal	2	Ea	\$	\$
15	Wood Railing Removal	42	Ft	\$	\$
16	Chain Link Fence Removal	1,165	Ft	\$	\$
17	Irrigation System and Equipment Removal	1	LSUM	\$	\$
18	Site Grading (outside of playable field area)	1	LSUM	\$	\$
19	Site Grading (inside playable field area)	1	LSUM	\$	\$
20	Concrete Sidewalk	8118	Sft	\$	\$
21	Concrete Curb Patch	4	Ft	\$	\$
22	Asphalt Paving Patch	12	Syd	\$	\$
23	Limestone Screenings Walk	1,610	Sft	\$	\$
24	Infield Mix	47,960	Sft	\$	\$
25	8' Ht. Vinyl Coated Chain Link Fence	100	Ft	\$	\$
26	6' Ht. Vinyl Coated Chain Link Fence	980	Ft	\$	\$
27	5' Ht. Vinyl Coated Chain Link Fence	1,335	Ea	\$	\$
28	Foul Pole	4	Ea	\$	\$
29	Baseball Backstop Masonry Wall	150	Ft	\$	\$
30	Softball Backstop Masonry Wall	75	Ft	\$	\$
31	Baseball Tension Netting System	1	LSUM	\$	\$
32	Softball Tension Netting System	1	LSUM	\$	\$
33	27' Bleachers	2	Ea	\$	\$
34	15' Bleachers	1	Ea	\$	\$
35	Backstop Wall Padding	225	Ft	\$	\$
36	Restoration Turf Seed	6320	Syd	\$	\$
37	Sports Field Turf Seed	12,840	Syd	\$	\$
38	3/4" Water Service Line	7	Ft	\$	\$
39	2" Water Service Line	11	Ft	\$	\$
40	6" PVC Sanitary Pipe	143	Ft	\$	\$
41	Trench Drain	150	Ft	\$	\$
42	Yard Drain Basin	1	Ea	\$	\$
43	6" Flexible Perforated PVC Drain Pipe	160	Ft	\$	\$
44	6" Flexible Solid PVC Drain Pipe	57	Ft	\$	\$
45	Subsurface Detention Coarse Aggregate	176	Cyd	\$	\$
46	Cleanout	1	Ea	\$	\$
47	Standard Catch Basin, 2'	2	Ea	\$	\$
48	BDS 50 mm Slit Trenches, 5' O.C.	1	LSUM	\$	\$
49	Home Plates, Pitchers Rubbers, Bases	1	LSUM	\$	\$
50	Site Electrical Work (excluding Alternate #1 specific electrical costs)	1	LSUM	\$	\$
51	Irrigation	1	LSUM	\$	\$
	Total Base Bid Group A Price				\$

3.02 Total Base Bid Price – GROUP B (Unit Prices)

No	Item	Est Qty	Unit	Unit Cost	Extended Cost
52	Concrete Paving Removal (for water service connection)	3	Syd	\$	\$
53	Water Service Tapping Fee	1	Ea	\$	\$
54	1" Water Service Line	175	Ft	\$	\$
55	Sanitary Sewer, 6" PVC Lateral	362	Ft	\$	\$
56	Concrete Sidewalk (replacement for water service connection)	25	Sft	\$	\$
57	Turf Seed Restoration	60	Syd	\$	\$
	Total Base Bid Group B Price				\$

3.03 Total Base Bid Price – GROUP C (Unit Prices)

No	Item	Est Qty	Unit	Unit Cost	Extended Cost
58	18" Storm Sewer Pipe Removal	126	Ft	\$	\$
59	Manhole Removal	1	Ea	\$	\$
60	Concrete Foundations and Steel Beams Removal	1	LSUM	\$	\$
61	Existing 18" VCP Storm Sewer Pipe Pre-Cleaning and Televising	540	Ft	\$	\$
62	Existing 18" VCP Storm Sewer Pipe Cleaning	540	Ft	\$	\$
63	Existing 18" VCP Storm Sewer Pipe Lining	540	Ft	\$	\$
64	Existing 12" VCP Storm Sewer Pipe Pre-Cleaning and Televising	245	Ft	\$	\$
65	Existing 12" VCP Storm Sewer Pipe Cleaning	245	Ft	\$	\$
66	Existing 12" VCP Storm Sewer Pipe Lining	245	Ft	\$	\$
67	Slope Re-Grading	1	LSUM	\$	\$
68	Replace Drain Structure Cover, MDOT Cover Q, Modified	1	Ea	\$	\$
69	18" Culvert End Section	1	Ea	\$	\$
70	18" Smooth-Lined Corrugated Plastic Pipe	117	Ft	\$	\$
71	Rip Rap	65	Syd	\$	\$
72	Turf Seed Restoration	110	Syd	\$	\$
	Total Base Bid Group C Price				\$

3.04 Total Alternate #1 Price (Unit Prices)

No	Item	Est Qty	Unit	Unit Cost	Extended Cost
73	Concession / Press Box Structure	2	Ea	\$	\$
74	Additional Concrete Sidewalk to Building Foundation	1120	Sft	\$	\$
75	Concession / Press Box Specific Electrical Work	1	LSUM	\$	\$

Total Alternate #1 Bid Price	\$
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3.05 **Total Alternate #2 Price (Unit Prices)**

No	Item	Est Qty	Unit	Unit Cost	Extended Cost
76	12" VCP Storm Sewer Pipe Removal	219	Ft	\$	\$
77	18" VCP Storm Sewer Pipe Removal	540	Ft	\$	\$
78	Below Grade Manhole Removal	1	Ea	\$	\$
79	12" Smooth-Lined Corrugated Plastic Storm Pipe	182	Ft	\$	\$
80	Televis 12" Smooth-Lined Corrugated Plastic Storm Pipe	182	Ft	\$	\$
81	18" Smooth-Lined Corrugated Plastic Storm Pipe	541	Ft	\$	\$
82	Televis 18" Smooth-Lined Corrugated Plastic Storm Pipe	541	Ft	\$	\$
	Total Alternate #2 Bid Price				\$

ARTICLE 4—TIME OF COMPLETION

- 4.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Paragraph 15.06 of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement.
- 4.03 Bidder agrees that the Work will be substantially complete **by November 10, 2023** as provided in Paragraph 4.01 of the General Conditions, and will be completed and ready for final payment in accordance with Paragraph 15.06 of the General Conditions **by November 17, 2023**
- 4.04 Bidder accepts the provisions of the Agreement as to liquidated damages.

ARTICLE 5—BIDDER’S ACKNOWLEDGEMENTS: ACCEPTANCE PERIOD, INSTRUCTIONS, AND RECEIPT OF ADDENDA

- 5.01 *Bid Acceptance Period*
 - A. This Bid will remain subject to acceptance for 60 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of Owner.
- 5.02 *Instructions to Bidders*
 - A. Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security.
- 5.03 *Receipt of Addenda*
 - A. Bidder hereby acknowledges receipt of the following Addenda:

Addendum Number	Addendum Date

ARTICLE 6—BIDDER’S REPRESENTATIONS AND CERTIFICATIONS

6.01 *Bidder’s Representations*

- A. In submitting this Bid, Bidder represents the following:
1. Bidder has examined and carefully studied the Bidding Documents, including Addenda.
 2. Bidder has visited the Site, conducted a thorough visual examination of the Site and adjacent areas, and become familiar with the general, local, and Site conditions that may affect cost, progress, and performance of the Work.
 3. Bidder is familiar with all Laws and Regulations that may affect cost, progress, and performance of the Work.
 4. Bidder has carefully studied the reports of explorations and tests of subsurface conditions at or adjacent to the Site and the drawings of physical conditions relating to existing surface or subsurface structures at the Site that have been identified in the Supplementary Conditions, with respect to the Technical Data in such reports and drawings.
 5. Bidder has carefully studied the reports and drawings relating to Hazardous Environmental Conditions, if any, at or adjacent to the Site that have been identified in the Supplementary Conditions, with respect to Technical Data in such reports and drawings.
 6. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Bidding Documents; and the Technical Data identified in the Supplementary Conditions or by definition, with respect to the effect of such information, observations, and Technical Data on (a) the cost, progress, and performance of the Work; (b) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder, if selected as Contractor; and (c) Bidder’s (Contractor’s) safety precautions and programs.
 7. Based on the information and observations referred to in the preceding paragraph, Bidder agrees that no further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the Work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract.
 8. Bidder is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Bidding Documents.
 9. Bidder has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and of discrepancies between Site conditions and the Contract Documents, and the written resolution thereof by Engineer is acceptable to Contractor.

10. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.
11. The submission of this Bid constitutes an incontrovertible representation by Bidder that without exception the Bid and all prices in the Bid are premised upon performing and furnishing the Work required by the Bidding Documents.

6.02 *Bidder's Certifications*

A. The Bidder certifies the following:

1. This Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation.
2. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid.
3. Bidder has not solicited or induced any individual or entity to refrain from bidding.
4. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph 8.02.A:
 - a. Corrupt practice means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the bidding process.
 - b. Fraudulent practice means an intentional misrepresentation of facts made (a) to influence the bidding process to the detriment of Owner, (b) to establish bid prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition.
 - c. Collusive practice means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish bid prices at artificial, non-competitive levels.
 - d. Coercive practice means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.

BIDDER hereby submits this Bid as set forth above:

Bidder:

(typed or printed name of organization)

By:

(individual's signature)

Name:

(typed or printed)

Title:

(typed or printed)

Date:

(typed or printed)

If Bidder is a corporation, a partnership, or a joint venture, attach evidence of authority to sign.

Attest:

(individual's signature)

Name:

(typed or printed)

Title:

(typed or printed)

Date:

(typed or printed)

Address for giving notices:

Bidder's Contact:

Name:

(typed or printed)

Title:

(typed or printed)

Phone:

Email:

Address:

Bidder's Contractor License No.: (if applicable) _____